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Study Latin Quarter District



SOUTH FLORIDA
COLLECTION

FLORIDA INTERNATIONAL UNIVERSITY
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CITY OF MIAMI PLANNING DEPARTMENT, FEBRUARY 1984

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LATIN QUARTER STUDY

DESCRIPTION.

The Latin Quarter Study and implementation elements are instruments created to coordinate development of an area with a definite Hispanic character, taking advantage of the present opportunities and presence of expressions of Hispanic culture to promote tourism and to generate complementary activities which will achieve neighborhood development and revitalization.

HISTORY

The first effort to translate the Hispanic culture into a physical expression was headed by a group of community leaders of the Downtown Merchants Association, who developed a concept for a Latin Center located on the river bank, in Downtown Miami.

A group of leaders from the Hispanic community revived the basic concept when they met with City staff in order to express the need for an area with a definite Hispanic character.

An independent consultant produced a study at the end of the 1970's, in which the location was determined to be along S.W. Eighth Street and W. Flagler, and between SW 12th. and 17th. Avenues.

The Little Havana Development Authority obtained an EDA grant in order to promote the area for future development. At the same time the City's Planning Department began to make an analysis of the Latin Quarter Area.

In 1980 a Task Force was created including members of the community to generate a plan for the development of the Latin Quarter.

The City Commission approved the plan and the implementation instruments in 1984 to realize the projects presented. The Latin Quarter Review Board was formed and started to operate to insure the continuous participation of the community.

JUSTIFICATION

The concentration of Hispanics, and their specific weight in community affairs has created the opportunity and the need for an expression of their culture. A series of efforts culminated with the approval of planning and implementation instruments by the City Commission.

The Plan expresses the existence of a foreign culture within the United States organizing different community efforts to benefit from its presence.

JURISDICTION

The Latin Quarter plan is designed to generate socio-economic benefits for all the people in Miami.

The US Census figures of 1980, for the City of Miami, show a population of approximately 399,995 persons, with an ethnic composition of 58% Hispanics, 24 % non-Hispanic Blacks, 16 % non-Hispanics White (Anglos), and 1 % other. The City has 34.3 square miles of land area and an additional 19.5 square miles of water area.

LATIN QUARTER STUDY

Innovativeness:

The use of a foreign culture as an active instrument for the revitalization process of a neighborhood and its relationship to the urban scenario ventures into areas of infrequently utilized concepts.

Hispanic population in the 1950's.
The 1960-1970 Period.
The 1980's Period.

Effectiveness:

The Latin Quarter Study has established criteria which is already producing a visual change in the neighborhood. The socio-economic process has not shown immediate results due to its nature, nevertheless revitalization of economic activity is apparent.

How to become a "Hispanic area".
Planning process.

Implementation:

The creation of a board, which includes members of the community, the approval of design guidelines and a special zoning ordinance by the City Commission insures the proper procedure.

Infrastructure.
Services.

Comprehensiveness:

All aspects of the Hispanic Culture as it exists today in the area of the City, have been analyzed. The proposals recognize the presence and the subtle differences among people of the various countries of Hispanic heritage by encouraging their representative activities.

Objectives.
Strategies.
Opportunities.
Actions.

References:

Design guidelines & standards.
Latin Quarter District.
Reference No. 9025. SPT-14.

INTRODUCTION

Hispanic population in the 1950's.
 The 1960-1970 Period.
 The 1980's Period.

LOCATION AND SIZE

HISTORY

How it became a "Hispanic area".
 Planning process.

PHYSICAL & SOCIO-ECONOMIC CHARACTERISTICS.

Age.
 Income.
 Condition of Housing.
 Infrastructure.
 Services.
 Land use.

CONCLUSIONS.

RECOMMENDATIONS

Proposed Environment.
 Objectives.
 Strategies.
 Opportunities.
 Actions.

INSTRUMENTS -

Design guidelines & standards.
 Latin Quarter District.
 Ordinance No. 9925. SPI-14.

INTRODUCTION

Location was the determinant factor for the first members of Hispanic groups that came to live in the City of Miami throughout its urban history. In the early 1950's they were already concentrated around S.W. Eighth Street and W. Flagler, and groups of Cubans were traveling back and forth to Miami by means of a ferry boat through the Keys, or by plane with great ease.

An official open-door policy for those fleeing right-wing dictatorships prevalent in South American countries during the decade of the 50's increased the presence of Hispanics in the City, which had a turning point when Cuba changed its political system. As soon as Castro came into power, a first group of people moved to South Florida, they belonged to the ousted government or they were those who had recognized a definite tendency in Castro's policies. They were followed by the professionals and technicians who escaped from political and economic problems, and who felt that they they had a better opportunity in a different system.

By this time several South American economies were flourishing and again location, in addition to the fact that Spanish speaking individuals lived in the area, played an important part in the decision by people from these countries to invest and spend their vacation time and money in S.E. Florida.

In 1980 the Cuban process yielded a new flow of people into this country, which followed the same location pattern as before. Other political problems have appeared in the Central American Region, generating new migratory flows of Spanish speaking individuals, who, for the same reasons, have a tendency of concentrating in the South Florida Area.

The presence of a Hispanic culture has created definite opportunities; its language and customs have lured economic activity in the form of tourism, international trade and finances. The creation of a sector with a definite Hispanic character will further acknowledge these opportunities and will help to develop and revitalize the neighborhood.

LOCATION AND SIZE

The Latin Quarter District stretches from N.W. First Street to S.W. Ninth Street, and from S.W. Twelfth Avenue to S.W. Seventeenth Avenue. It encompasses approximately 160 acres of land

URBAN HISTORY.

The Latin Quarter District, as a neighborhood, was established from very early in the urban life of the city. Its location within the City's network made it very desirable, proximity to work and services attracted the newcomers. From a totally Anglo population it was transformed into a transitional population of Hispanics, who left for newer sections of the County as soon as they were economically capable, leaving behind the older people and those with lower income. All along Anglos were leaving the area, to a point that excluding the people who came from Cuba during 1980, and according to the U.S. Census of that year, 92.1 % of the people were Hispanics.

The creation of the Latin Quarter has built expectations, which have been translated into real projects following the basic concepts expressed in the plans. There is a definite tendency to revitalize the area, complementary services have been improved and the community has taken an active role relating well to these changes.

PRESENT PHYSICAL AND SOCIO-ECONOMIC CONDITIONS

The U.S. Census of 1980 shows a profile for the Latin Quarter Area with a large percentage of people older than 65 years of age, and younger than 15 years of age; a low income median with a prevalence of one and two-member households; and a large percentage of foreign-born individuals with a long period of residency in this country.

The following tables show the data produced by th U. S. Census of Population of 1980 for neighborhood 777, which corresponds to the Latin Quarter District:

AGE

Total persons	7,224
Under 5 years	226
5 to 9 years	226
10 to 14 years	216
15 to 19 years	259
20 to 24 years	402
25 to 29 years	379
30 to 34 years	323
35 to 44 years	227
45 to 54 years	707
55 to 59 years	1,017
60 to 64 years	641
65 to 74 years	667
75 to 84 years	1,404
85 years and older	136
Median	53.6

\$35,000 to \$49,999	28
\$50,000 or more	21
Median	\$ 9,847
Mean	\$11,498

NATIVITY AND PLACE OF BIRTH

Total persons	7,224
Native	1,031
Born in State of residence	356
Born in different State	568
Born abroad, at sea, etc	107
Foreign born	6,193

PERSONS IN HOUSEHOLDS

Households	3,268
1 person	1,097
2 persons	1,158
3 persons	537
4 persons	295
5 persons	109
6 or more persons	72

INCOME 1979

Families	2,121
Less than \$5,000	442
\$5,000 to \$7,499	381
\$7,500 to \$9,999	253
\$10,000 to \$14,999	519
\$15,000 to \$19,999	289
\$20,000 to \$24,999	107
\$25,000 to \$34,999	81
\$35,000 to \$49,999	28
\$50,000 or more	21
Median	\$ 9,847
Mean	\$11,498

YEAR STRUCTURE BUILT

RESIDENCE IN 1975

Persons 5 years and over	6,940
Same house	2,628
Different house in United States	3,731
Abroad	581
1969 to 1969	3 411
1940 to 1969	644
1939 to earlier	596

VALUE OF HOUSING

Specified owner-occupied housing units . . .	129
Less than \$10,000.	1
\$10,000 to \$14,999	1
\$15,000 to \$19,999	5
\$20,000 to \$24,999	7
\$25,000 to \$29,999	12
\$30,000 to \$34,999	15
\$35,000 to \$39,999	15
\$40,000 to \$49,999	28
\$50,000 to \$79,999	42
\$80,000 to \$99,999	2
\$100,000 to \$149,999	1
Median	\$43,000

SERVICE DELIVERY

School YEAR STRUCTURE BUILT

The Latin Quarter	Year-round housing units	3,413	include five (5)
Elementary schools,	1979 to March 1980	18	senior high
schools,	1975 to 1978	173	Dade Community
College and	1970 to 1974	613	schools are
located outside	1960 to 1969	557	
Recreation	1950 to 1959	512	
	1940 to 1949	644	
	1939 to earlier.	896	

There are eight (8) neighborhood parks and two (2) mini parks which serve the Area, Little Havana, and the Latin Quarter as a portion of it. The neighborhood with the greatest open space and recreation deficiency in the City of Miami, very acute in its western portion. Jose Marti Park, built recently, is a major problem.

MEANS OF TRANSPORTATION TO WORK AND PRIVATE VEHICLE OCCUPANCY

Shopping	Workers 16 years and over.	2,889	
Shopping	Car.	2,162	corridors in
the form of	Public transportation.	522	
Calle 8	Walked only.	162	
Quarter	Other means.	7	in the Latin
festivals	Worked at home	36	during special
as well as	Persons per private vehicle.	1.23	downtown Miami

Community Facilities (Police and Fire)

Police protection to the Latin Quarter is provided from the City of Miami Police Station located (at 400 N.W. 2nd Avenue in Downtown Miami), within 1/4 of a mile from the eastern portion of the neighborhood, by fifty three (53) police officers. The Little Havana Police Substation, located on N. Flagler and 22nd Avenue, is being proposed to serve the Latin Quarter and the southern district of the City of Miami. Presently several commercial and residential crime-watcher's groups, as well as a citizen police subcouncils operate in this neighborhood.

Fire protection is adequately delivered by the City of Miami Fire Department. Firefighting services are provided to the area by Fire Station 4 located at Biscayne Blvd. and SW 3rd Street, Station 11 located at 2nd Avenue and 11th Street and Station 3 located at N.W. 7th Street and 11th Avenue. The City rescue squad provides advance life support capabilities in the neighborhood.

Health Care and Social Services

Dade County is responsible for most of the health and welfare programs in the City of Miami. The sudden arrival of Mariel refugees in 1980 overloaded the health and welfare delivery system in the area because many of the refugees required immediate assistance. Latin Quarter is served by the Jackson Memorial and Victoria Hospitals, numerous private clinics, and numerous social

SERVICE DELIVERY

Schools

The Latin Quarter Area is served by ten (10) schools which include five (5) elementary schools, three (3) junior high schools, two (2) senior high schools, several private schools and two (2) colleges (Miami-Dade Community College and Florida Memorial College). Five of these Public schools are located outside the Area.

Recreation and Open Space

There are eight (8) neighborhood parks and two (2) mini parks which serve the Area. Little Havana, and the Latin Quarter as a portion of it, is the neighborhood with the greatest open space and recreation deficiency in the City of Miami, more acute in its western portion. Jose Marti Park, built recently, has contributed to alleviate the problem.

Shopping Areas

Shopping areas in the Latin Quarter are located along commercial corridors in the form of strip commercial development.

Calle 8 (SW 8th Street) is the most popular shopping street in the Latin Quarter and thousands of people visit this street every year during special festivals. Shopping at the regional level is done mostly at downtown Miami as well as in regional shopping centers.

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services agencies in the neighborhood, many of them financed by the City of Miami CD funds. Programs include child care, transportation, assistance to the blind, the elderly, outreach programs, hotel services jobs programs, residential and commercial area jobs programs, social workers job program, and others.

Transportation

The urban transportation network serves the Latin Quarter District appropriately. There is good accessibility through the highway-expressway system, bus routes and rapid transit stations. Discount fares are provided for the elderly, handicapped and students with proper identification; the City of Miami CD funds finance a complementary neighborhood oriented transportation system.

Currently the Offstreet Parking Authority is considering the acquisition of land for public parking facilities to alleviate the parking shortage in the area.

Historical Sites

Little Havana contained a large number of Miami's early sub-neighborhoods and some of its historic buildings. Many of these buildings have been demolished in recent years being replaced by apartment houses. Many of the older structures that still remain have been so drastically altered that they no longer retain any architectural integrity.

LAND USE

The neighborhood is surrounded by commercial strips along the main streets with a medium density residential area in the center (see existing generalized Land Use Plan).

Over the last 15 years the Latin Quarter experienced a substantial decrease in single family residential uses with a corresponding increase in higher density residential uses, particularly in multi-family development. Also, within the commercially zoned areas, there has been a decrease of single family residential uses, which have been replaced by commercial structures in the form of shopping centers, offices and other general commercial uses.

Housing

Housing production has not kept pace with population increases resulting in a housing shortage, which was substantially aggravated by the arrival of thousands of refugees, especially in the eastern portions of Little Havana. The housing stock experienced little increase since 1980; the vacancy rate decreased between 1970 and 1980 from 1.9% to 1.3%, (excluding the many refugees) compared with a 7.6% vacancy rate for the City in 1980.

Overcrowding (i.e., units with more than one person per room) has substantially increased (34%) since 1970, and is a serious problem in all of Little Havana. The Latin Quarter plan proposes to alleviate the problem through revitalization.

The number of single family structures have decreased and have been replaced by duplexes, apartments and rooming houses. The average value of an owner occupied unit in the Latin Quarter, in 1979, was \$43,000, compared to \$47,500 for the City.

The overall housing stock is in good condition; many of the older apartment structures and some single family and duplexes have been rehabilitated with City of Miami and Federal Government assistance. However, due to the severe overcrowding conditions already mentioned, a portion of the housing stock is deteriorating.

Economic Development

Business activity in general has improved in all of the Little Havana area including the Latin Quarter, and several new shopping centers and new housing projects were developed or rehabilitated in the last 10 years. The Latin Quarter plan, which facilitates the development of a tourist/visitor destination area, is the key element to contribute to economically revitalize portions of Little Havana. The City is assisted in its economic development activities in the Little Havana area by the Little Havana Development Authority, Small Business Opportunity Center, the Chamber of Commerce, and the Latin Quarter Review Board.

CONCLUSIONS

Central districts of cities enter a period of transition when the original dwellers begin to move out to the suburbs. The neighborhoods have to adjust to these changes. One way to reverse this process is by using revitalization instruments generated by the community itself. Occasionally an opportunity, such as the one in the Latin Quarter presents itself, where there is a coincidence of goals at the different levels of public and private interests.

The idea of developing a Hispanic District to revitalize the neighborhood has definite support from public and private sectors; the City benefits from the tourists who are attracted by the different architectural character and the activities taking place in the district; and the neighborhood benefits from the physical redevelopment and the economic activities generated.

It is important that the area should have a distinct character at all times of the day. Nighttime activity is to be emphasized through the use of special lighting effects and signage. Daytime activity is accentuated through an interaction between the street environment and upper floors of buildings, achieved on terraces and balconies where people can sit and watch street events from open air restaurants, their homes or places of work.

The scale of those portions of the buildings adjacent to the pedestrian street should be similar or slightly higher than the existing scale. The area should provide focal points and a sequence of activities and events both indoor and outdoor. Emphasis on the activities and the building design on street corners will contribute toward this objective. Activities that are oriented both to the streets and towards the interior should be emphasized.

THE PROPOSED ENVIRONMENT

The people should be attracted to this "country within a city" because of: a) its unique architecture; b) the availability of specialty merchandise, including imported objects; c) its restaurants and open air cafes selling typical South, Central American and Caribbean food with emphasis on seafood and tropical fruits; d) entertainment that includes theaters, nightclubs, cultural events, dances and music from neighboring countries; e) special attractions such as cigar manufacturing and others; f) art and cultural establishments that include art exhibits and carnivals; and h) amenities for workers and residents. These activities will occur in colorful and appropriately designed spaces that include interior patios, plazas and terraces. Visitors and tourists will be served by people dressed in typical costumes of each country, who have been appropriately trained to deal with the visitors/tourists.

Due to the major concentration of pedestrians, the environment will be designed with a substantial number of pedestrian amenities that include wide sidewalks, pedestrian malls, decorative pavement on sidewalks, plazas and courtyards. Continuous "portales", archways, canopies, adequate landscaping and other amenities should be included to provide shade and shelter to the pedestrians, where path should be uninterrupted along ground level store frontage. Also, in order to encourage browsing by visitors, the ground floor retail storefronts should provide substantial glass display windows, concentrating tourist-related activities in order to capture the tourist market.

Sufficient perimeter parking facilities will have to be provided since a substantial number of the Latin Quarter's patrons will arrive in the area via private automobile. The parking facilities should be located inconspicuously in order not detract from sidewalk activities.

The design and development of the pedestrian environment should reflect a tropical atmosphere and an open character. This could be achieved by the use of substantial amounts of vegetation, wider sidewalks, building setbacks, utilization of outdoor spaces that include outdoor terraces at upper floors, plazas, interior patios and courtyards, and the utilization of the roofs for outdoor recreation. Also, the use of glass in combination with vegetation and lighting should be used to visually extend the outdoor and indoor spaces, thereby creating a feeling of transparency and openness.

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GOAL

To create a showcase of the hispanic culture in Miami within the proposed Latin Quarter boundaries that will attract visitors and tourists on a twenty-four hour basis. Complementing the basic activities of tourism and helping stabilize the neighborhood unit.

OBJECTIVES

1. To promote orderly growth of the study area in physical, economic and social terms, taking advantage of the existing potential and quality of the area.
2. To create an active, lively, distinctive and well designed urban environment which reinforces the hispanic culture.
3. To promote the revitalization of the existing commercial areas, to upgrade the visual character of the area, to provide opportunities for the expansion of businesses, the creation of additional neighborhood services, and new jobs.
4. To facilitate opportunities for living above places of business including combining residential and non-residential uses in a pattern that minimizes potential adverse effects of such combinations.
5. To improve parking facilities that serve the residential and commercial areas.
6. To promote land assembly and projects that contain more amenities for residents, visitors and workers.
7. To create an environment that depicts an attractive hispanic and tropical character that includes plazas, courtyards, terraces, and "portales". These amenities will be available to the general public and will have appropriately located recreation areas that serve the resident population.
8. To facilitate development that creates an interaction with the street environment through the use of terraces and balconies.
9. To preserve, upgrade and expand the existing residential areas. To encourage residential development that includes more amenities.
10. To encourage income and age mixes through the upgrading of quality development and redevelopment.
11. To increase the possibility stay of the present area residents.
12. To improve safety in the area.
13. To provide adequate community facilities and services to the area residents.

OPPORTUNITIES

STRATEGIES TO ACHIEVE THE GOAL AND OBJECTIVES

1. Maximize utilization of federal, state and local resources.
2. Attract local and foreign private sector investment resources.
3. Develop a special public interest (SPI) zoning district for the Latin Quarter that provides zoning incentives. Develop urban design guidelines and standards for the district. Organize a Latin Quarter Architectural Review Board that provides direction in the redevelopment of the area. Encourage the existing local development authority to play a more active role in the development of the area.
4. Improve parking facilities in the area.
5. Identify potential redevelopment sites. Concentrate development that is visitor/tourist-oriented in specific locations which have high visibility, and good accessibility. Facilitate the development of larger projects that have more amenities.
6. Encourage specialty stores or activities, that are geared to visitors/tourists, to locate along streets having high pedestrian circulation. Discourage uses that are not pedestrian-oriented. Emphasis should be placed on attracting restaurants which represent different manifestations of the latin cuisine.
7. Initiate a comprehensive commercial revitalization program in order to improve the visual and environmental conditions of the area. Provide technical and financial assistance to merchants and developers.
8. Concentrate Code Enforcement in commercial and residential areas.
9. Increase safety in the area.
10. Initiate the development of S. W. Flagler Terrace Mall. B Street and
11. Provide zoning incentives to business persons, property owners and developers to promote tourist-oriented facilities within the designated areas.
12. Develop property maintenance standards for the area.
13. Improve refuse collection. Flagler Terrace, S.W. 1st, 7th and 8th
14. Provide area wide management to commercial district.
15. Develop and implement marketing and promotional campaigns.
16. Initiate a street decoration program during special events and holidays.

6. Adequate infrastructure in certain areas.

OPPORTUNITIES

The Latin quarter area in Little Havana has the basic ingredients and the potential to be revitalized and developed into a permanent showcase of the hispanic culture in Miami. Some of these same basic ingredients also exist in the Chinatowns of San Francisco and Los Angeles, and Little Italy in New York.

The Little Havana area is known regionally, nationally and internationally because:

1. The different cultural and social activities, such as the carnivals, parades, special events and folklore that attract hundreds of thousands of people every year.
2. Its restaurants and food related stores which offer Spanish cuisine.
3. Its specialty retail stores that include cigar manufacturing and pinatas stores.
4. Landmarks like Cuban Memorial Boulevard and Domino Mini-Park.
5. A living Hispanic culture.
6. The gregarious character of Hispanics.
7. The presence of a Hispanic architectural style in some of the existing buildings.
8. The large amount of visitors coming to the area.

In addition, there are other elements that complement the development of the Latin Quarter District. They are:

1. The recent street beautification efforts on S.W. 8 Street and W. Flagler Street.
2. Recent facade renovations in the area.
3. The opportunity that S. W. Flagler Terrace has to be converted into a pedestrian mall. The Firestone building has the potential for a strong nodal development. Land is available for redevelopment at S. W. Flagler Terrace, S.W. 1st, 7th and 8th Streets.
4. The opportunity to develop the government-owned land on S. W. Flagler Terrace.
5. Excellent accessibility and a good public transportation system.
6. Adequate infrastructure in certain areas.

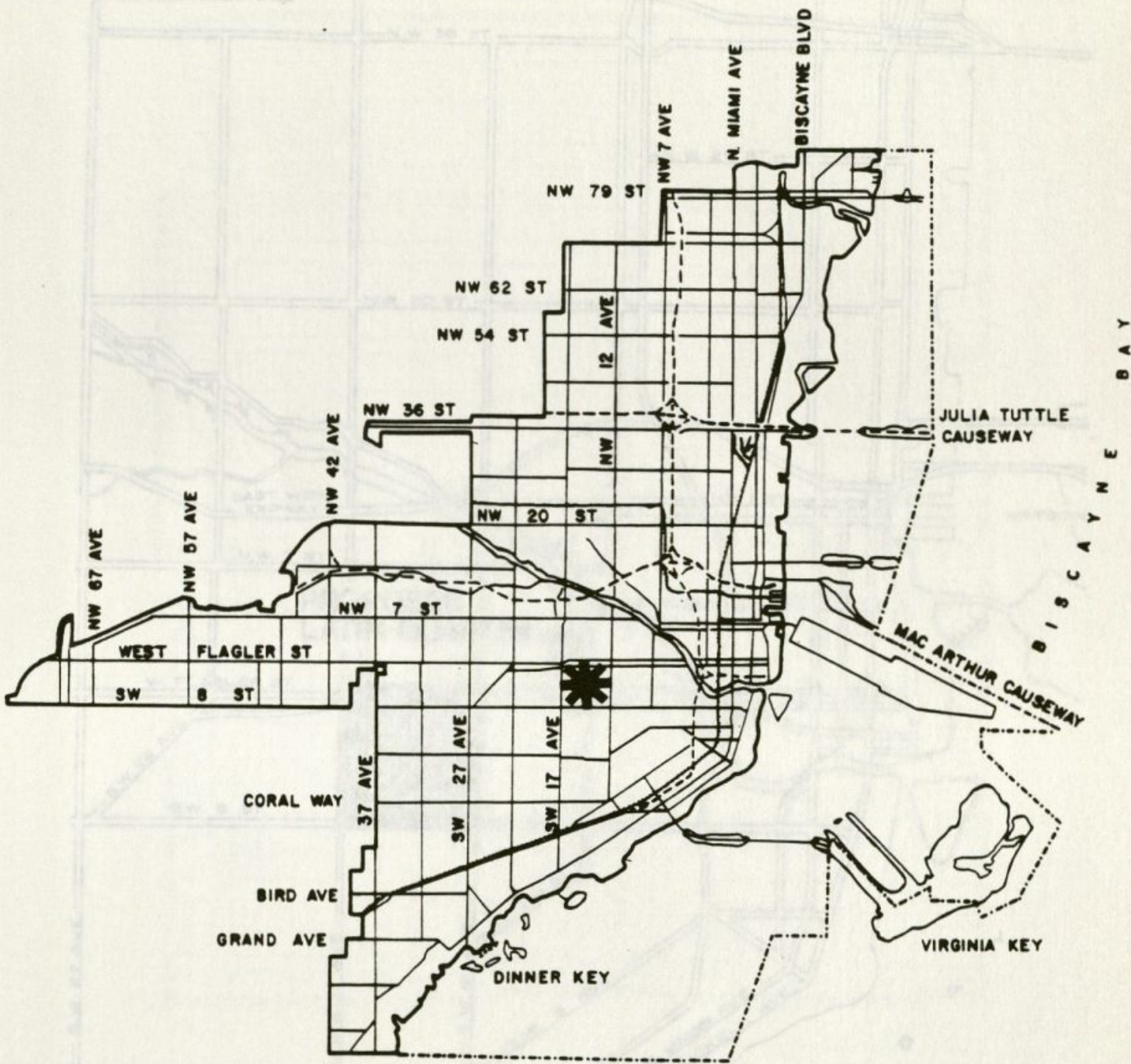
7. Availability on underdeveloped land and the existence of buildings capable of being transformed or developed into tourist attractions.
8. Relatively low rents compared with Downtown Miami, Brickell, Coral Way, etc.
9. An overall good housing stock.
10. Proximity to other tourist related attractions and facilities such as the Miami International Airport, the Port of Miami, Miami Beach, and the Seaquarium.
11. Proximity to major employment centers such as Downtown Miami and the Civic Center/Hospital complex.
12. The excellent connection that Miami provides with South and Central America and the Caribbean and the influx of millions of yearly visitors to the area.
13. The good weather that the Miami region enjoys and the potential to create development capitalizing on its tropical ambience.

ACTIONS

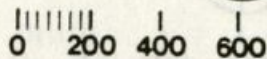
Certain actions are needed to create a visitor/tourist attraction in the Latin Quarter. They are:

1. Improve parking facilities close to major activity centers.
2. Physically upgrade the visual character of the commercial areas. Emphasize S. W. 8th, Flagler and S.W. 1st Streets, Flagler Terrace and 12th and 17th Avenues corridors, including:
 - a. -Facade treatment program.
 - b. -Building sign program.
 - c. -Commercial area paint program including murals.
 - d. -Pedestrian improvement programs including awnings, street crossing improvements, well designed newspaper stands, decorative lighting, additional public telephones, business directories, well designed trash cans, benches and other street furniture.
 - e. -Street signage program.
 - f. -Logo for the area. To be integrated with the store name on shopping bags and store advertising.
 - g. -Initiate a zoning study for the area. Provide zoning incentives to business persons, property owners and developers to provide tourist oriented facilities in the designated areas (see land Use and Zoning changes in the Appendix).
 - h. -Develop Urban Design Standards for the area including new storefront criteria, sign controls and color schemes.
 - i. -Concentrate tourist-oriented facilities in small geographical areas. Phase development as required
 - j. -Code enforcement throughout the district.
 - k. -Street and sidewalk improvements.
 - l. -Establish an Architectural Review Board for the Latin Quarter District.
 - m. -Provide incentives for existing businesses to remain in the area. Consider a business retention program which includes low interest loans for working capital.
 - n. -Implement a tree planting program in residential areas.
 - o. -Provide technical assistance to interested developers.
 - p. -Continue the street improvement projects.

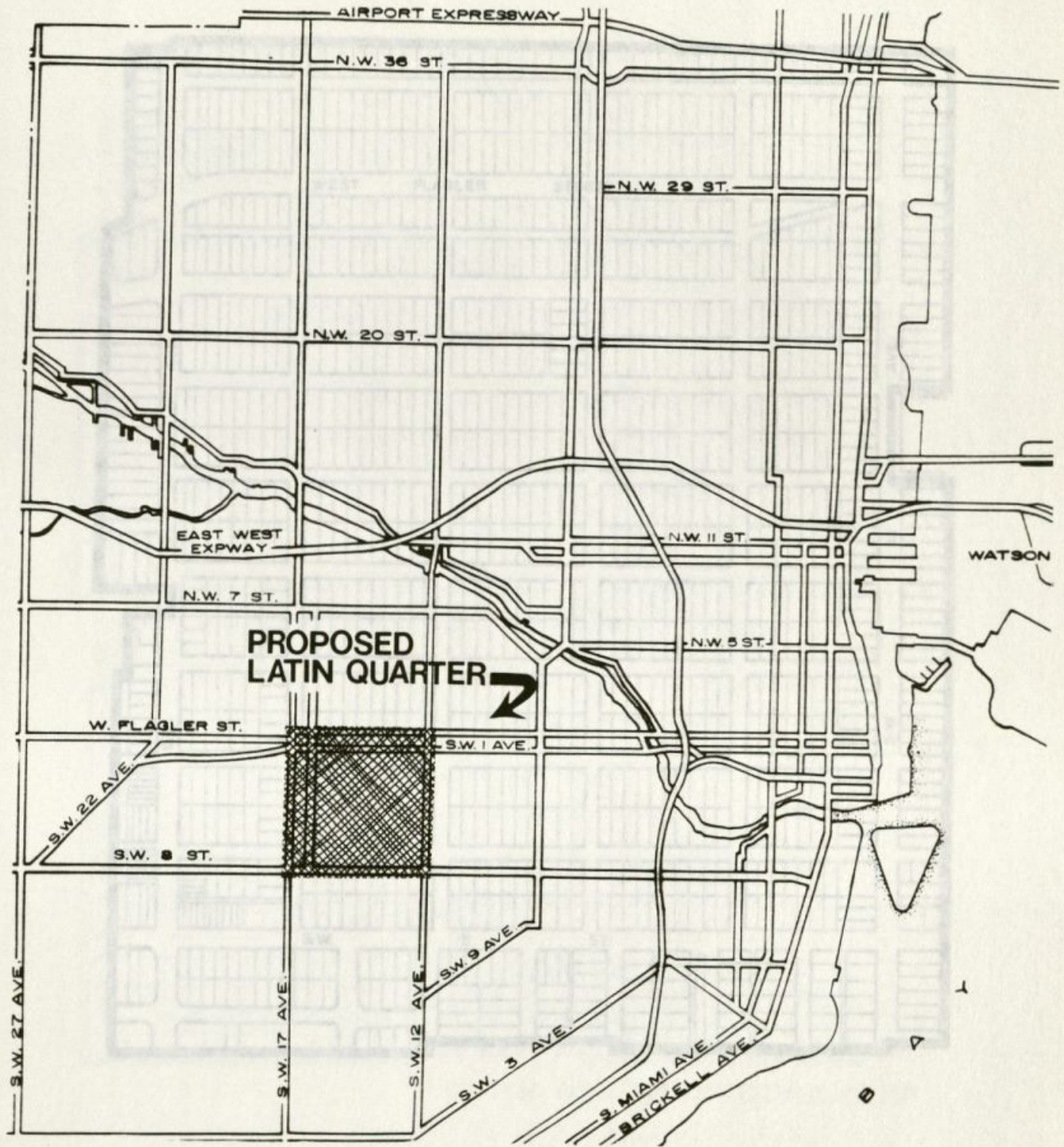
LOCATION MAP



LOCATION MAP

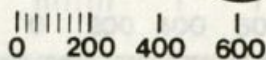


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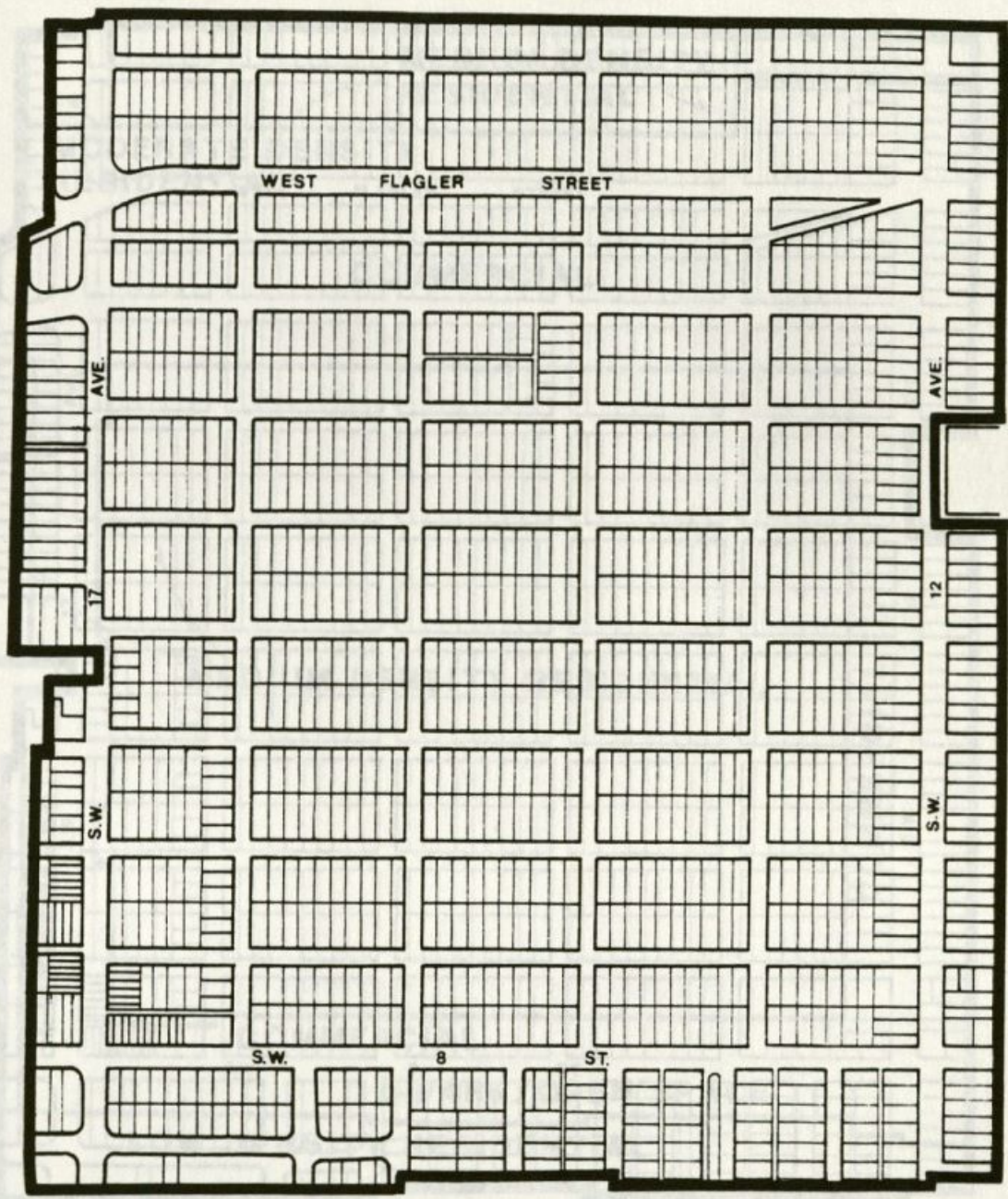


LOCATION MAP

BOUNDARIES



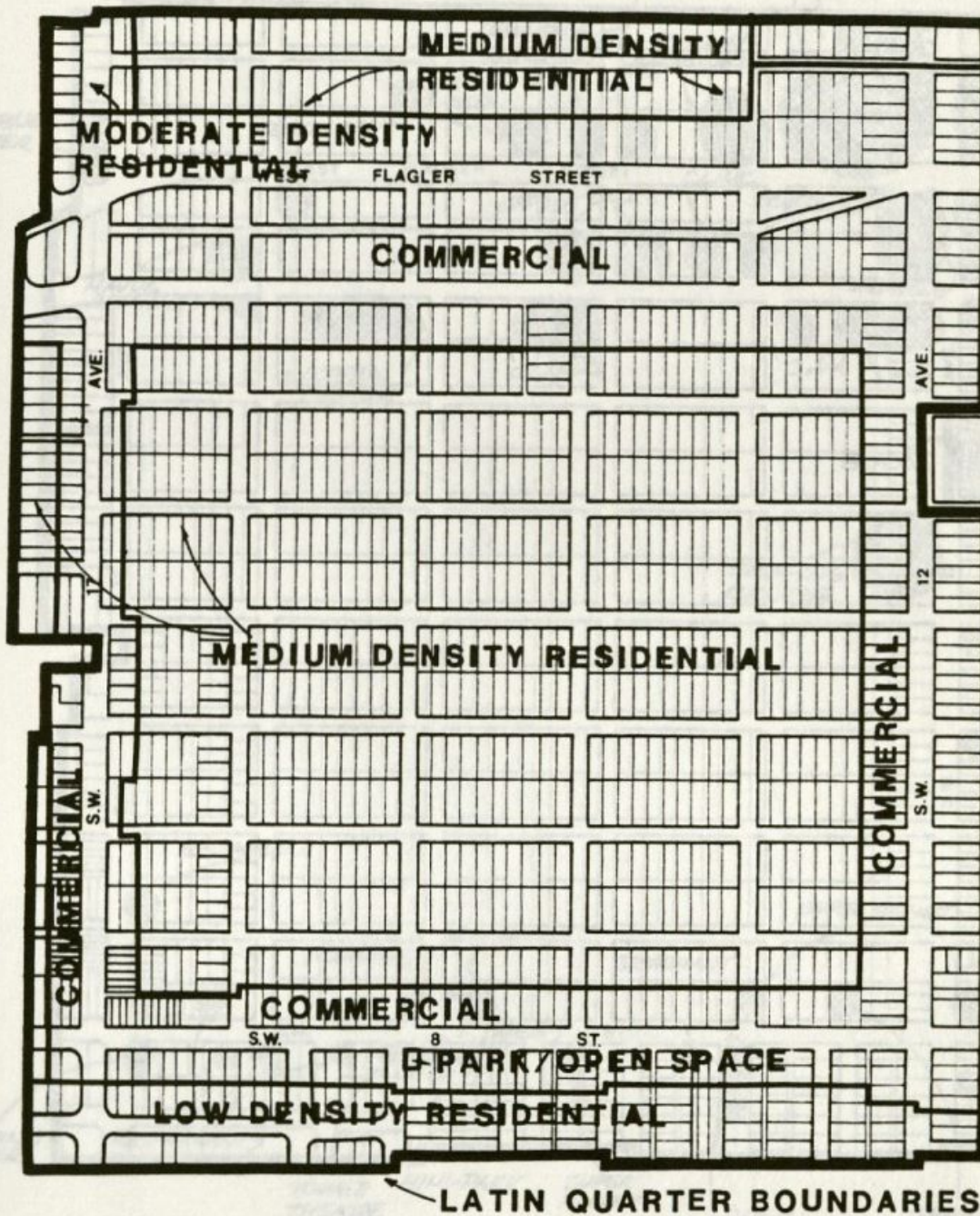
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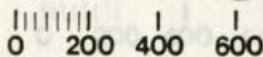
LATIN QUARTER BOUNDARIES

**STUDY AREA
BOUNDARIES**

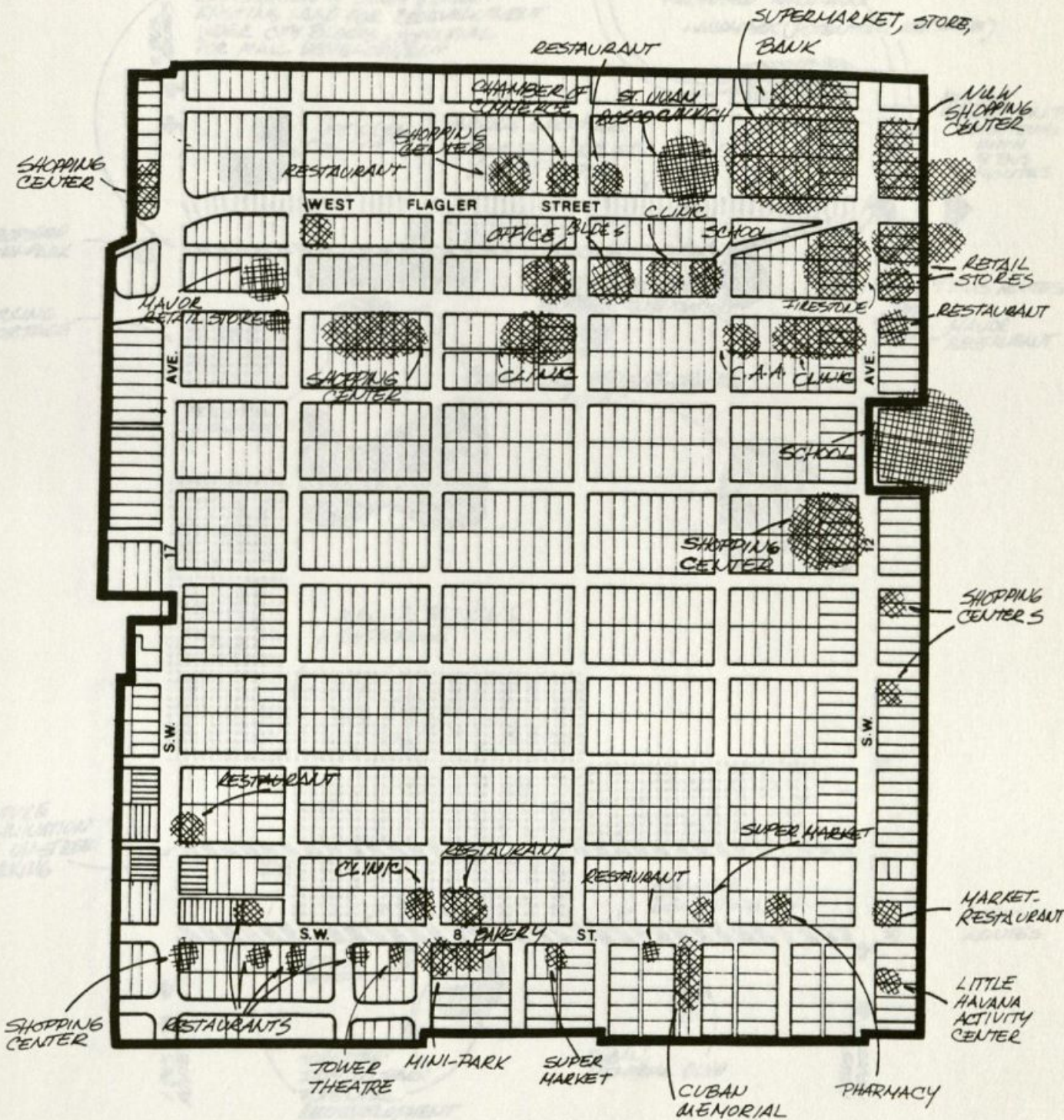
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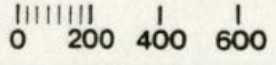
**EXISTING GENERALIZED
LAND USE PLAN**



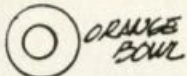
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MAJOR ACTIVITIES GENERATORS



latin quarter

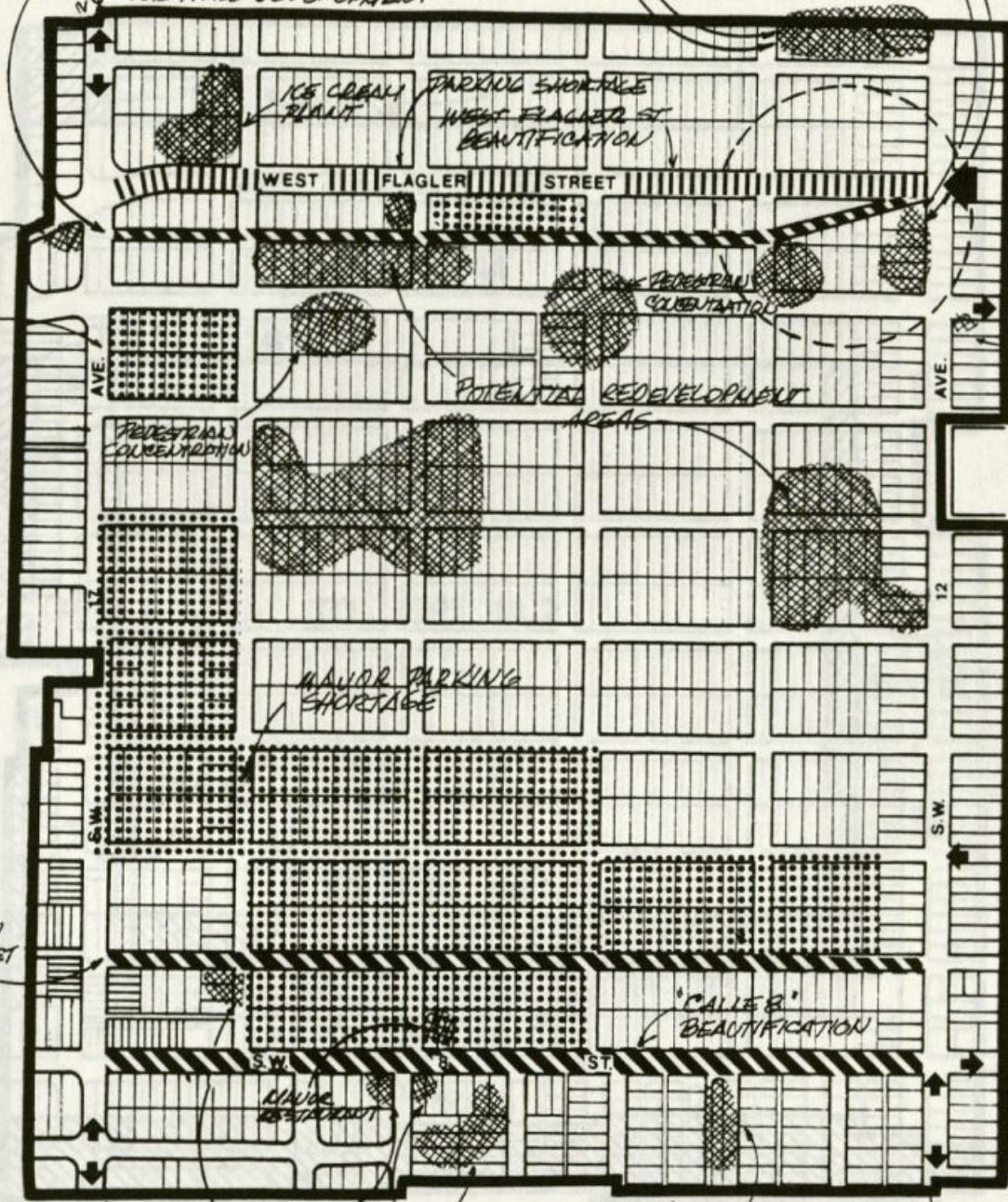


ORANGE BOWL

POTENTIAL REDEV. SITE

CITY/COUNTY OWNED LAND
(POTENTIAL FOR PARKING FAC & MIXED USE)
PROPOSED MINI-PARK
LANDMARK (POTENTIAL ACT. NODE)

UNDER DEVELOPED AREA
ELIMINATION OF SLUM & BLIGHT
EXISTING LAND FOR REDEVELOPMENT
WIDER CITY BLOCKS, POTENTIAL
FOR MALL DEVELOPMENT



NATURAL CONNECTION TO DOWNTOWN WITH 9 BUS ROUTES

9 BUS ROUTES

MAJOR RESTAURANT

2 BUS ROUTES

PROPOSED MINI-PARK

PARKING SHORTAGE

FUTURE ELIMINATION OF ON-STREET PARKING

1 BUS ROUTE

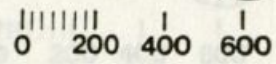
1 BUS ROUTE

THEATER DOMINO PARK
POTENTIAL REDEVELOPMENT AREA

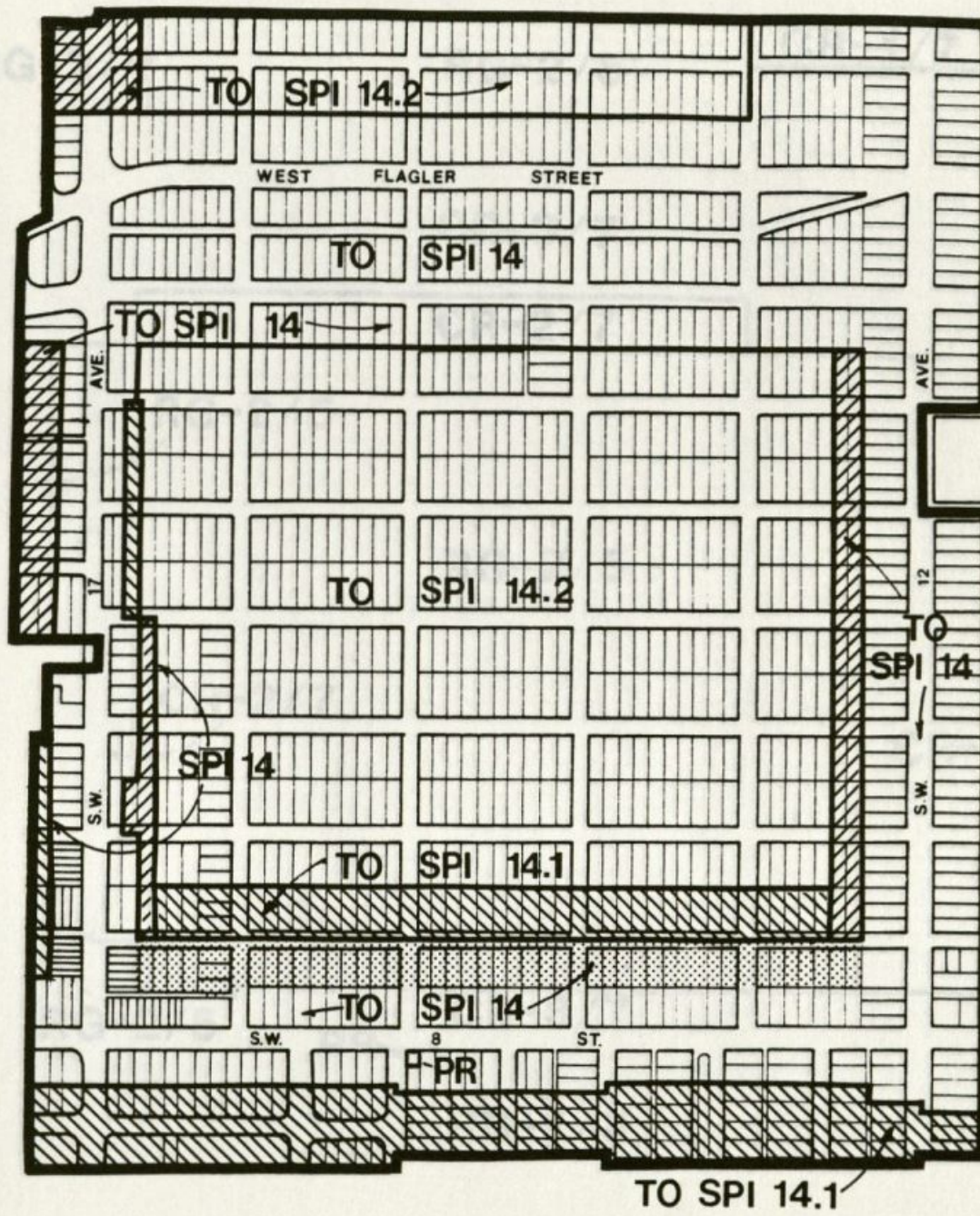
CUBAN MEMORIAL BLVD

'CALLE B' BEAUTIFICATION

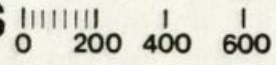
PROBLEMS & OPPORTUNITIES MAP



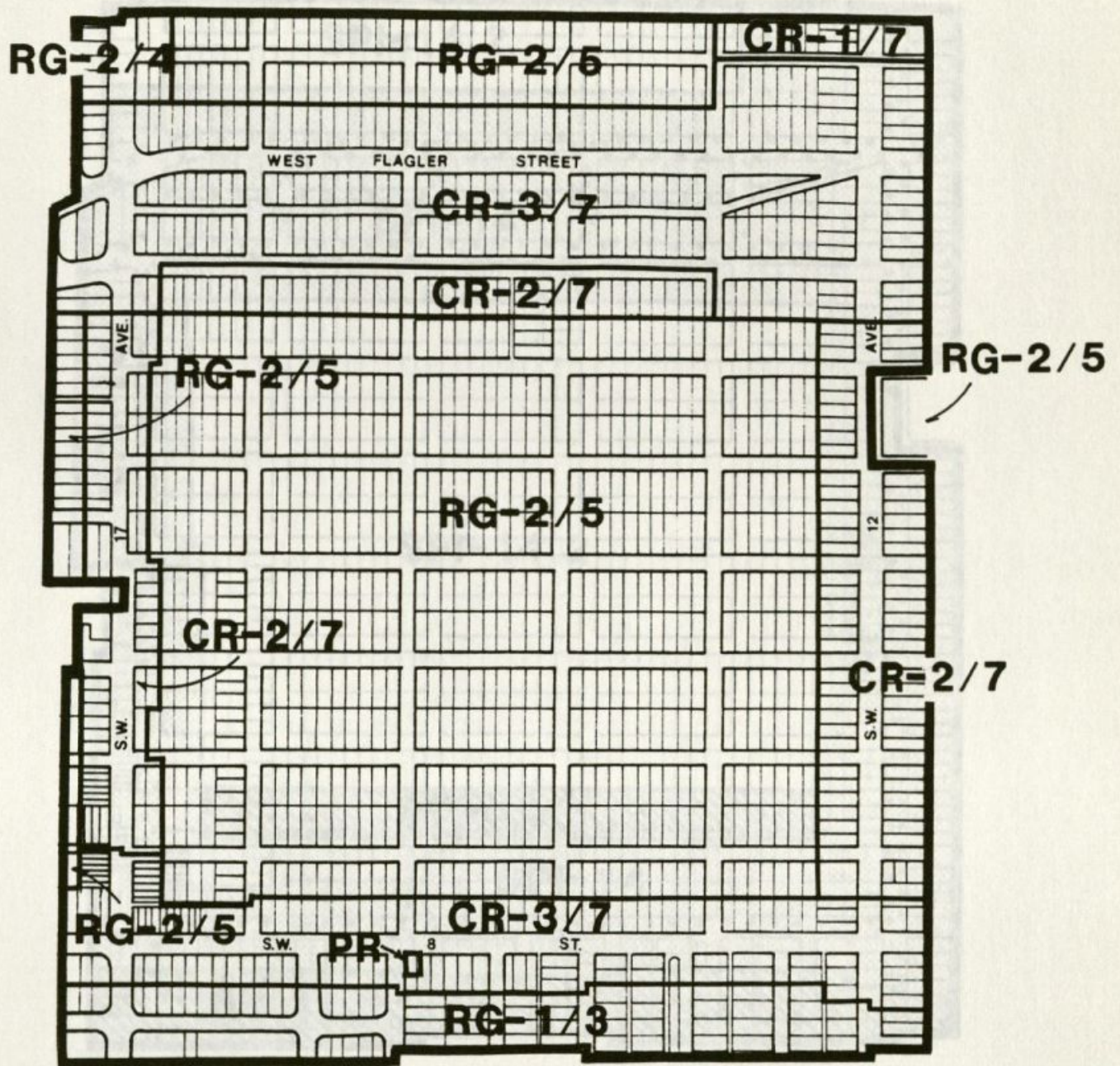
latin quarter



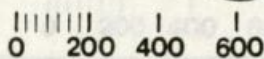
**PROPOSED DISTRICT
BOUNDARIES &
ZONING CHANGES**



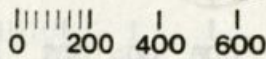
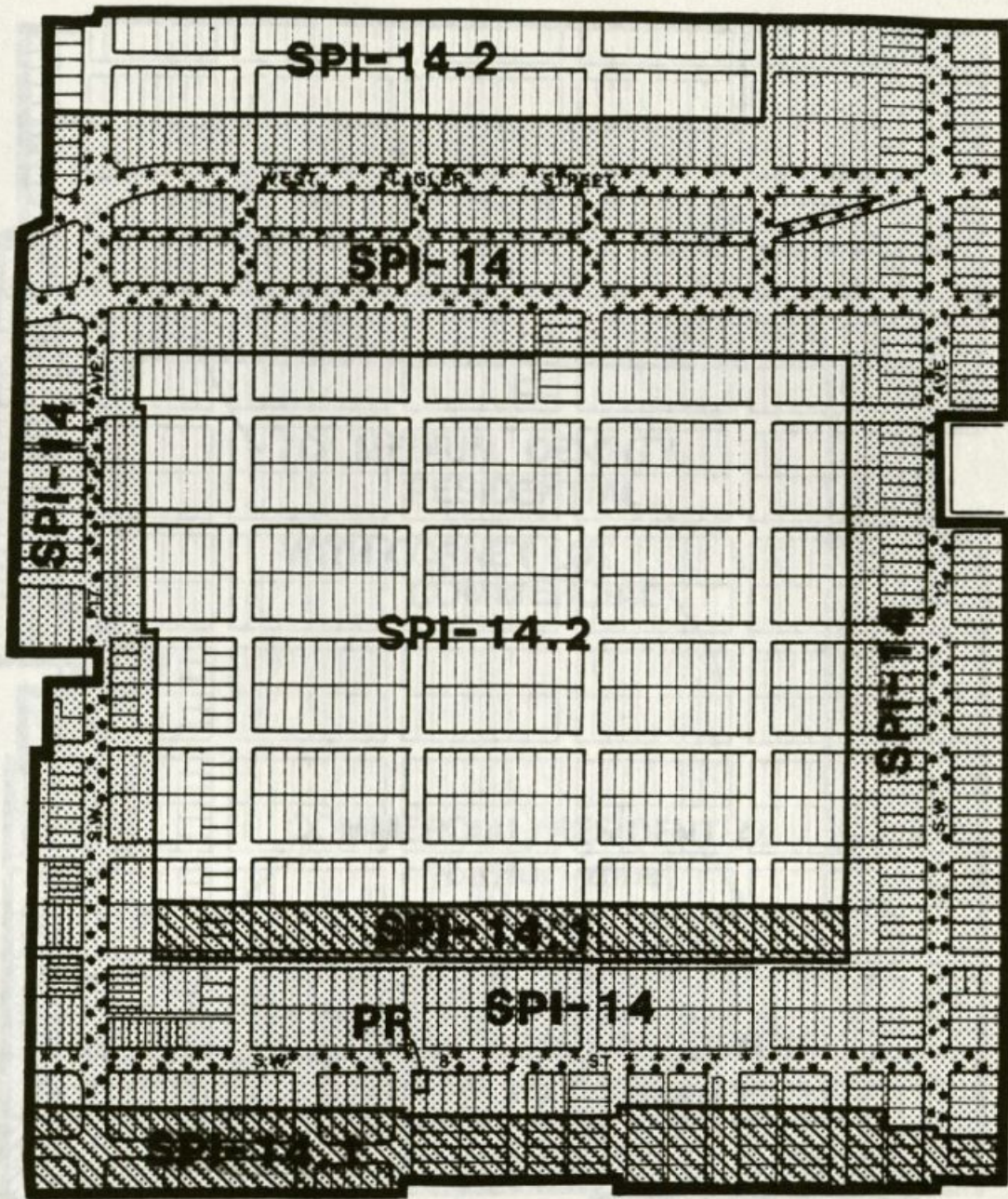
latin quarter



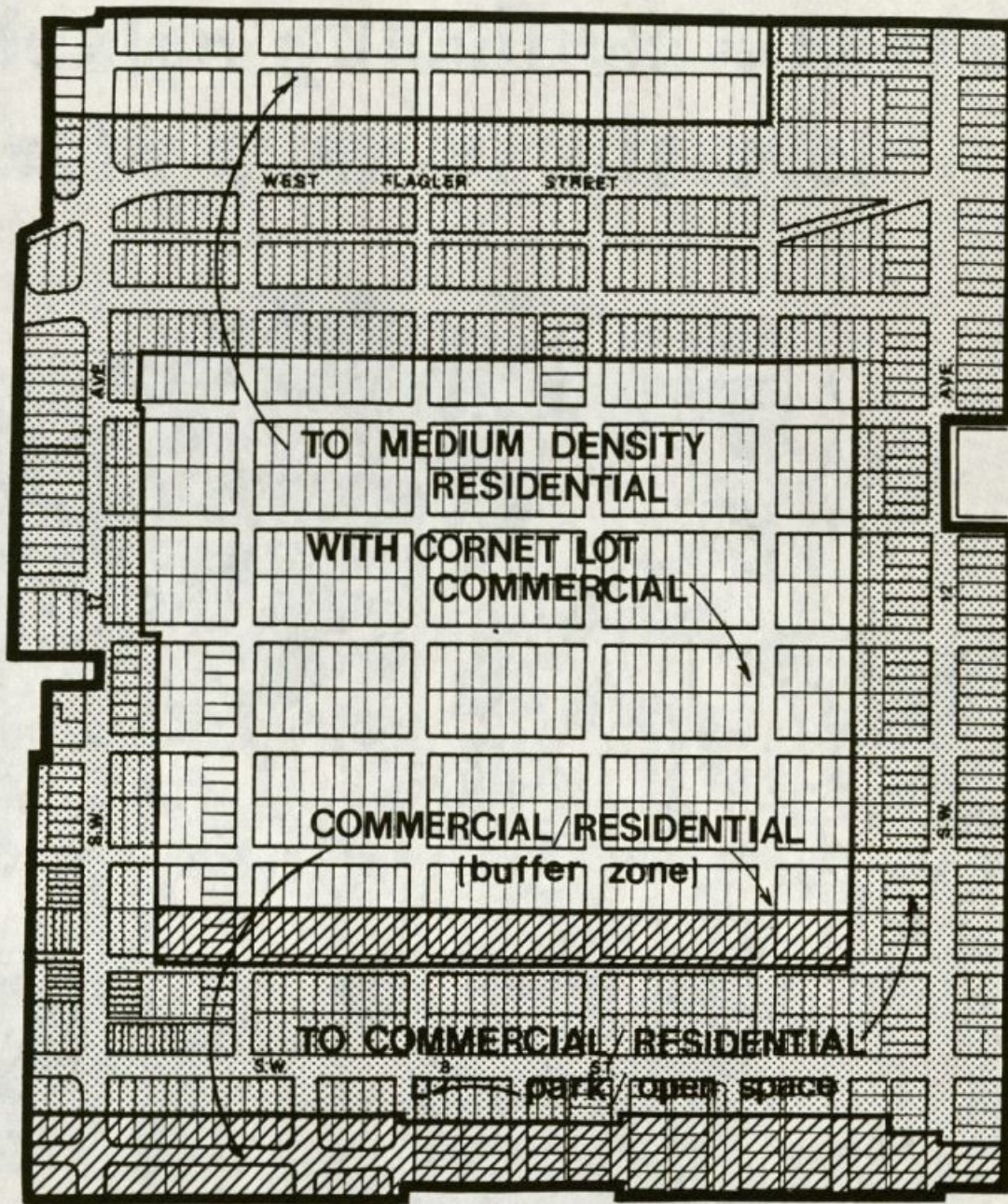
**EXISTING ZONING
DISTRICTS**



latin quarter



latin quarter



**PROPOSED LAND
USE CHANGES**



0 200 400 600

latin quarter

design guidelines & standards latin quarter district



CITY OF MIAMI PLANNING DEPARTMENT. FEBRUARY 1984

DESIGN GUIDELINES AND STANDARDS

LATIN QUARTER DISTRICT

LATIN QUARTER TASK FORCE

The City of Miami Commission

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Demetrio Perez, Jr., Vice Mayor
Joe Carollo, Commissioner
Miller J. Dawkins, Jr., Commissioner
J.L. Plummer, Jr., Commissioner

Howard V. Gary, City Manager
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This report was funded in part by the U.S. Department of Housing and Urban Development under the City of Miami Community Development program administered by the Department of Community Development.

DESIGN GUIDELINES AND STANDARDS - LATIN QUARTER DISTRICT

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ACKNOWLEDGEMENTS

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1. The Roof
2. The Facade and building Relationship
3. Color and Building Materials
4. Signage
5. Lighting
6. Awnings and Canopies
7. Walls, Fences and Gates
8. Open Spaces
9. Parking, Loading and Unloading
10. Mechanical Equipment

TABLE OF CONTENTS

I. INTENT

The intent of these design guidelines for the Latin Quarter District is to direct and guide the development of the district with design guidelines within the City of Chicago's Comprehensive Zoning Ordinance. The guidelines will serve as a reference for the architectural and design community to ensure that the district's historic and cultural resources are preserved and enhanced. The guidelines are intended to provide a framework for the design professional to enhance the visual quality of the district and to encourage the development of new buildings that are sensitive to the historic character of the district. The guidelines are based on the requirements of the Special Public Use Ordinance as well as the recommendations of the Board of Design Review.

I. Intent

II. The Building Environment

A) Design Objectives

B) Special Design Features

1. Portales

2. Arches

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4. Ornamental Ironwork

5. Ornamental Woodwork

6. Stained Glass

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1. The Roof

2. The Facade and Building Relationship

3. Color and Building Materials

4. Signage

5. Lighting

6. Awnings and Canopies

7. Walls, Fences and Gates

8. Open Spaces

9. Parking, Loading and Unloading

10. Mechanical Equipment

DESIGN GUIDELINES AND STANDARDS - LATIN
QUARTER DISTRICT

I. INTENT

The intent of the design guidelines for the Latin Quarter District is to direct and facilitate the development of a district with definite boundaries within the City of Miami which, due to its architecture, atmosphere and new identity will serve as a showcase of hispanic culture. The design guidelines are intended to provide directions to the design professionals for the enhancement of the visual character of the area, thus, reinforcing its hispanic character; to encourage orderly development based on the requirements of the Latin Quarter Special Public Interest (SPI) Zoning District; as well as to create a frame of reference for the Latin Quarter Review Board in which to base their recommendations.

2. To encourage pedestrian oriented development in the district the following amenities need to be provided: a) wide sidewalks, plazas, courtyards and a pedestrian mall; b) provision of shade and shelter including continuous portales (covered arcades), canopies, landscaping and other amenities; c) provision of commercial activities that are uninterrupted at the ground level street frontage; d) provision of substantial amount of glass openings on ground floor retail storefronts in order to encourage browsing; e) concentration of tourist related activities in close proximity to each other and; f) interaction with the street environment at upper floors.

II. THE BUILDING ENVIRONMENT

A) DESIGN OBJECTIVES

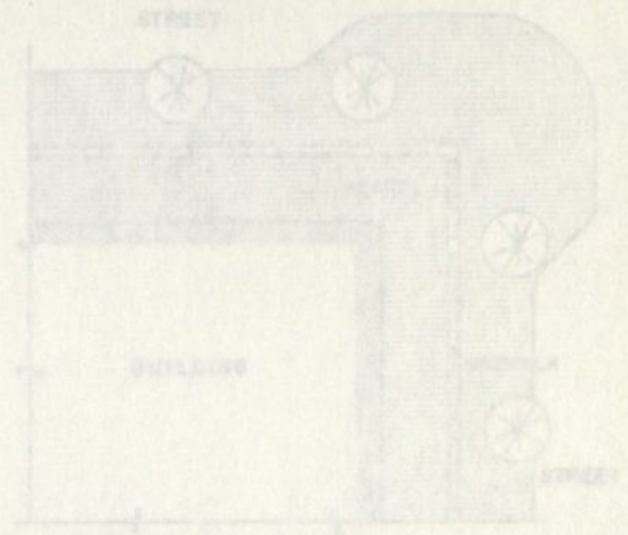
The overall objective of the design guidelines for the building environment is to facilitate the development of a district with a hispanic character, a strong pedestrian orientation, and a tropical atmosphere. In order to achieve the above mentioned objective, the following design objectives are important:

1. To facilitate the development of the hispanic character in the district, the repetition of "special design elements" in harmonious and sensitive ways is necessary; these elements include portales, arches, balconies, ornamental ironwork, ornamental woodwork, stained glass, and others.
2. To encourage pedestrian oriented development in the district the following amenities need to be provided:
 - a) wide sidewalks, plazas, courtyards and a pedestrian mall;
 - b) provision of shade and shelter including continuous portales (covered arcades), canopies, landscaping and other amenities;
 - c) provision of commercial activities that are uninterrupted at the ground level street frontage;
 - d) provision of substantial amount of glass openings on ground floor retail storefronts in order to encourage browsing;
 - e) concentration of tourist related activities in close proximity to each other and;
 - f) interaction with the street environment at upper floors.

3. To encourage a tropical atmosphere and an open character catering to pedestrian streets the following is encouraged: the use of substantial amount of vegetation, building setbacks, utilization of outdoor spaces including outdoor terraces at upper floors, plazas, interior patios, courtyards, and rooftops for outdoor recreation.

The combined use of glass with vegetation and lighting contribute to the outdoor setting thereby creating the feeling of transparency and open character. The use of trellises, glass structures, canvas awnings in interior courtyards and terraces will also contribute to a tropical atmosphere.

4. To provide focal points and a sequence of activities and events, plazas and buildings with special interest are to be emphasized on street corners. Courtyards that are visible from the street are to be encouraged also.



PORTAL CONTINUITY
FIG. 1



WIDER PORTAL
FIG. 2

B. SPECIAL DESIGN FEATURES

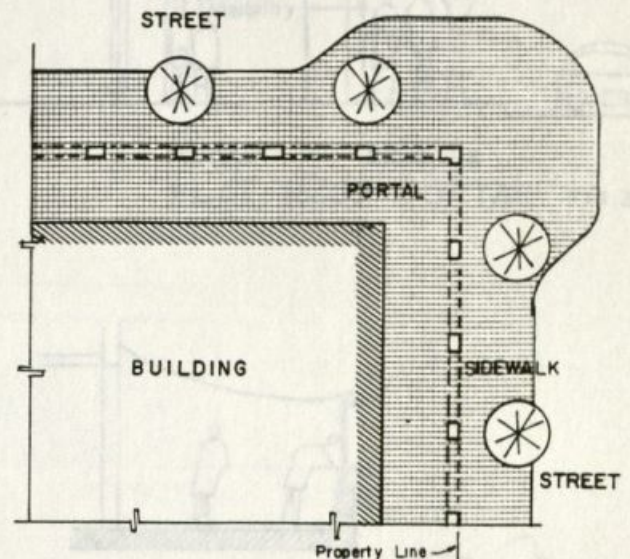
1. PORTALES

Portales (covered arcades) are considered one of the most important design features in the proposed Latin Quarter district.

They should be provided along all the pedestrian streets and are strongly recommended in other commercial and residential areas. See Latin Quarter SPI.

Guidelines

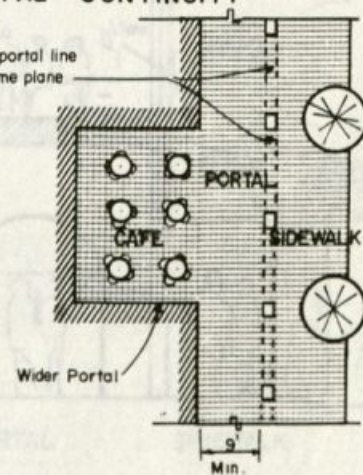
- Portales on commercial areas should be continuous and adjacent to public street sidewalks.
 - Portales should extend along the entire frontage of the property along commercial areas.
 - The portion of the portales facing commercial streets should be accessible to the public at all times, unless the portal exceeds the minimum width requirement. In cases when the portal exceeds the minimum width requirements the extra space may be used for building entries, display and sale of merchandise, cafes or similar uses.
 - Portales may be one or two stories in height.
 - Portales are to be designed as to provide a harmonious relationships with adjacent portales, canopies, awnings, and other prominent design features.
 - Portales protruding from the building can be designed with flat or sloped roofs.
1. Flat roof portales. Terraces above flat-roofed portales are encouraged.



PORTAL CONTINUITY

FIG. 1

Maintain portal line in the same plane



WIDER PORTAL

FIG. 2

2. Sloped roof portales. The slope of the roof should be sufficient to permit installation of tile.

- Portales as integral part of the building should have the enclosed space above them designed to encourage visual interaction with street activities.
- Portales are encouraged in interior patios and plazas.

2. ARCHES

An arch is considered an important design feature for the proposed Latin Quarter district.

Guidelines

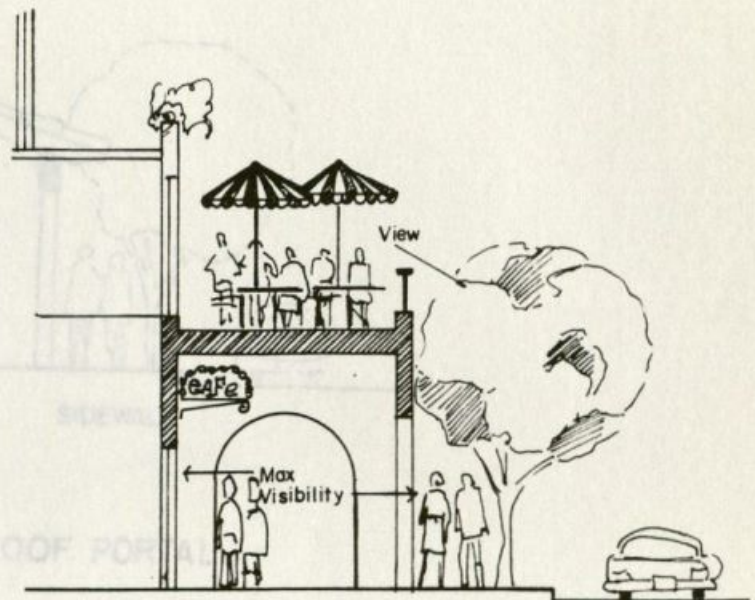
- Arches can be used at portales and doorways to define spaces.
- Arches can be used to reinforce verticality, or horizontality.
- Arches can be combined with ornamental iron, woodwork, or stained glass to reinforce the character of the area.

3. BALCONIES

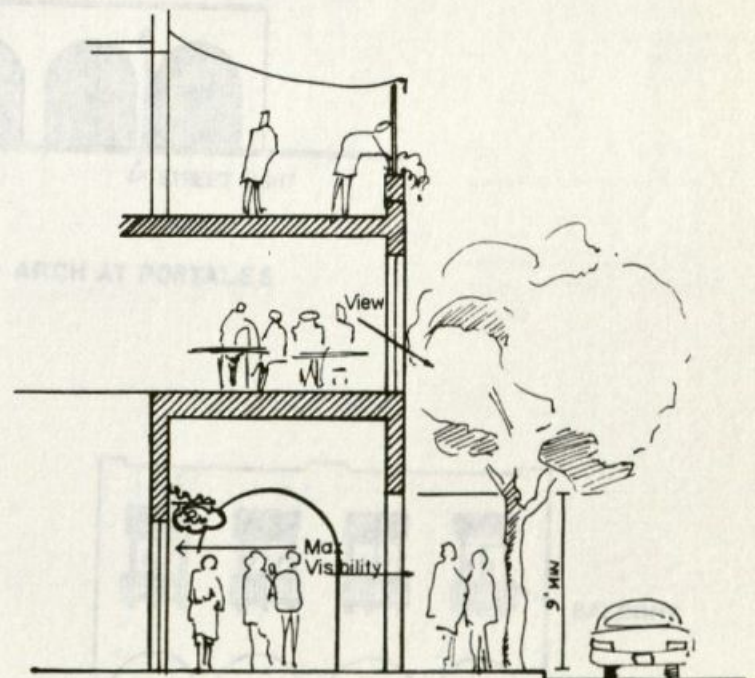
Balconies provides an opportunity for interaction with the street environment in residential and commercial areas. In addition, they provide an opportunity to add color and interest to the streetscape.

Guidelines

- Balconies should be provided at upper floors in front of doors, and storefronts facing the street.
- A marquee or overhang should be located on top of the upper balcony for weather protection.



PORTAL SIDEWALK
FLAT ROOF PORTAL FIG. 3

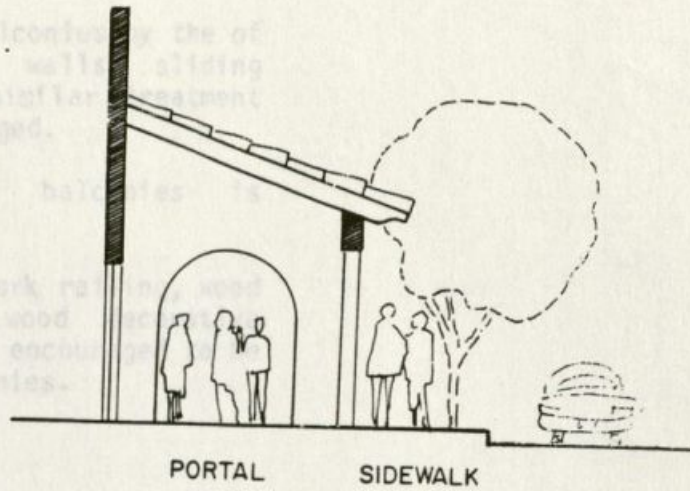


PORTAL SIDEWALK
FLAT ROOF PORTAL FIG. 4

Closing of the balcony by the use of screens, walls, sliding doors or other similar treatment shall be discouraged.

Illumination of hallways is recommended.

Ornamental ironwork railings, balustrade and wood support beams are encouraged to be used in the balconies.



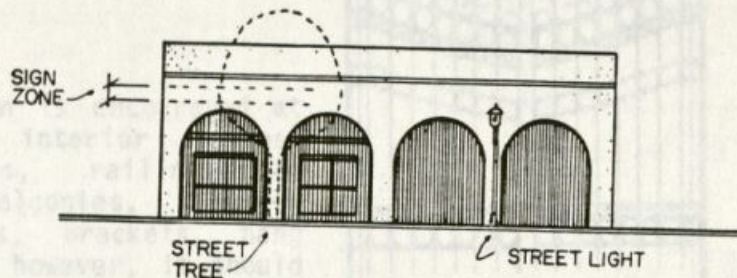
SLOPED ROOF PORTAL

FIG. 5

This design feature is frequently used in South Florida mostly for safety and decorative purposes. Ornamental iron, if incorporated, can give a large image to the area. This design element should be indicated on the building elevations to be presented to the Latin Quarter Review Board.

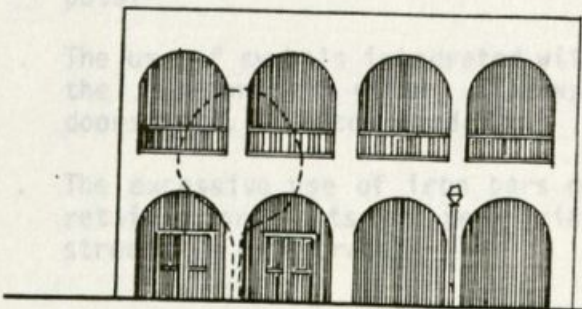
Guidelines

Ornamental iron gateways of interior fences, gates, railings, terraces, balconies, windows, lamps, planters, etc; however, should be an integral part of the building design and not a feature.



SEMICIRCULAR ARCH AT PORTALES

FIG. 6



ARCHES - TWO STORY BUILDING

FIG. 7



BALCONIES

FIG. 8

- Closing of the balconies by the use of screens, walls, sliding doors or other similar treatment shall be discouraged.
- Illumination of balconies is recommended.
- Ornamental ironwork railing, wood balustrade and wood decorative support beams are encouraged to be used in the balconies.

4. ORNAMENTAL IRON

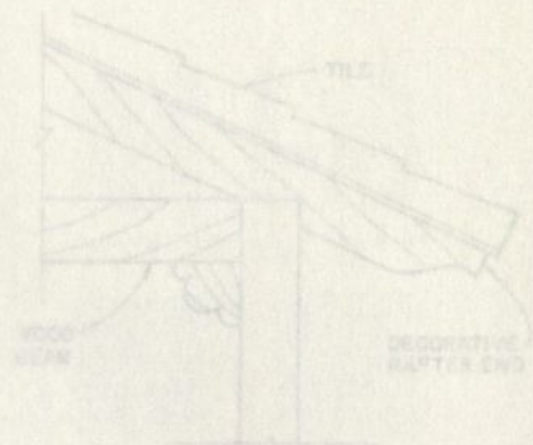
This design feature is frequently used in South Florida mostly for safety and decorative purposes. Ornamental iron, if used inappropriately, can give a negative image to the area. This design element should be indicated on the building elevations to be presented to the Latin Quarter Review Board.

Guidelines

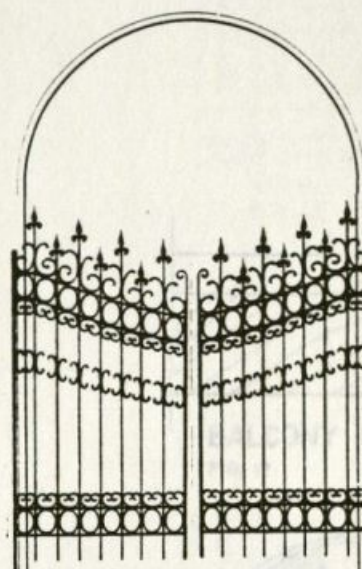
- Ornamental iron is encouraged at gateways of interior patios, fences, gates, railings at terraces, balconies, doors, windows, lamps, brackets, hang planters, etc; however, it should be an integral part of the building design and not an add-on feature.
- Ornamental iron at balcony railings should provide, whenever possible, a space to place flower pots.
- The use of symbols integrated with the ironwork at gates, windows, doors, etc. is encouraged.
- The excessive use of iron bars on retail storefronts on pedestrian streets is discouraged.

7. TILES AND PAVERS

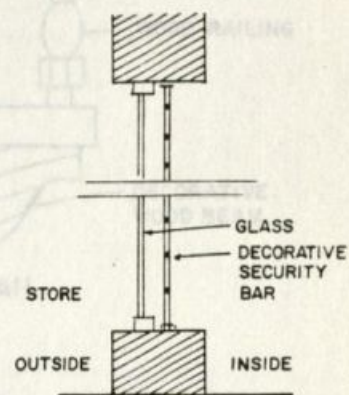
Tiles and pavers reinforce the Latin Quarter image and provide color to



BEAM DETAIL
FIG. 11



ORNAMENTAL IRON GATE
FIG. 9



DECORATIVE SECURITY BARS AT STOREFRONTS
FIG. 10



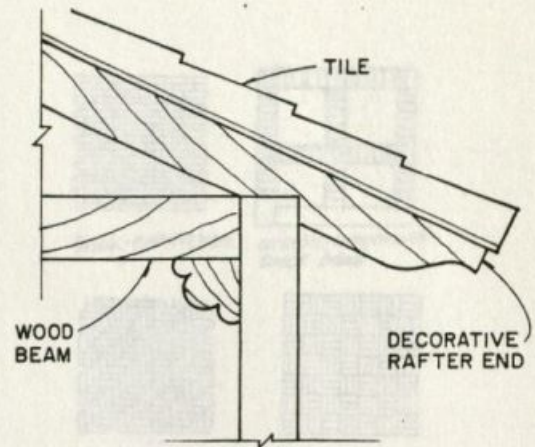
STAIN GLASS DETAIL
FIG. 12

5. ORNAMENTAL WOODWORK

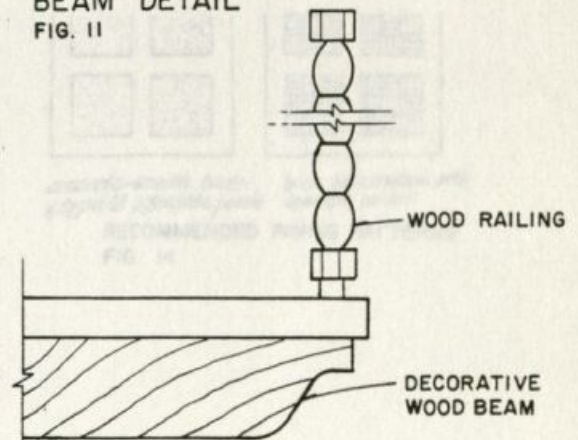
Ornamental woodwork contributes to the enhancement of the area's image.

Guidelines

- Ornamental woodwork can be used outdoor or indoors, at doors, windows, portales, balconies, barandas (railings), panels, wainscots, floors, ceiling brackets and others.
- Louvered wood windows and doors should be combined with operable glass panels in order to provide for ventilation, energy conservation, and safety.
- Barandas (railings) should be made of decorative wood.
- Decorative wood beams, joists or rafters that are either an integral part of the structural support system, or used for decorative purposes, should be used in balconies, canopies, parapets, cornices, and portales.



BEAM DETAIL
FIG. 11



BALCONY DETAIL
FIG. 12

6. STAINED GLASS

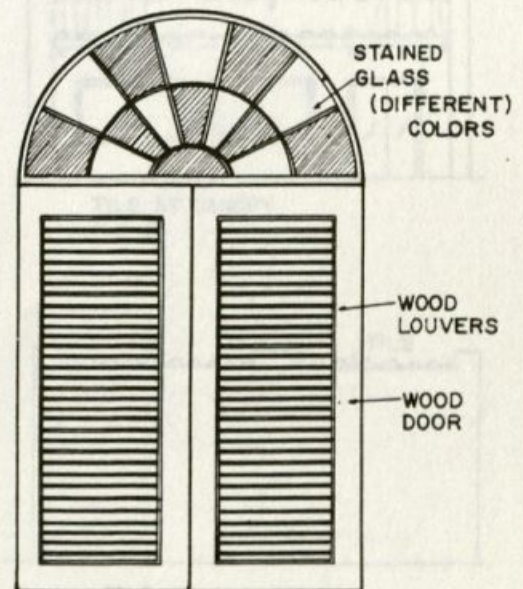
Stained glass is one of the design elements which provides color to the streetscape and adds character to the area. It also provides a sense of transparency.

Guidelines

- Stained glass panels should be located at the transom space of doors and windows or fixed panels.
- The use of white, blue, red and yellow glazing is recommended.

7. TILES AND PAVERS

Tiles and Pavers reinforce the Latin Quarter image and provide color to



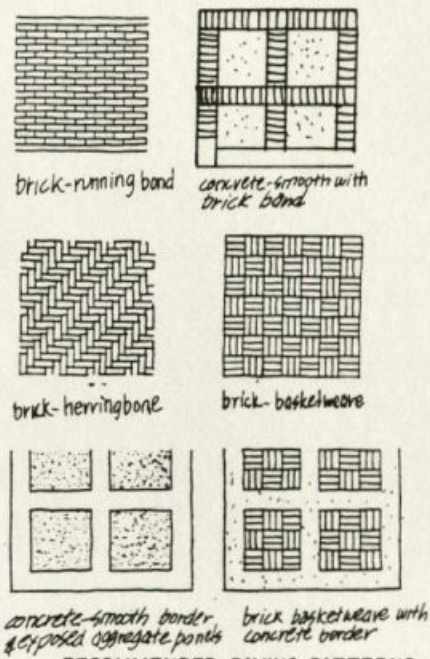
STAIN GLASS DETAIL

FIG. 13

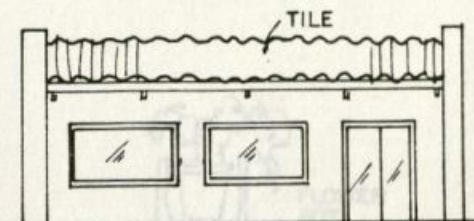
the area. Tile for exterior walls and murals requires low maintenance. They could be used on roofs, canopies, sidewalks, floors, portales, interior patios or as wainscot materials for building exteriors.

Guidelines

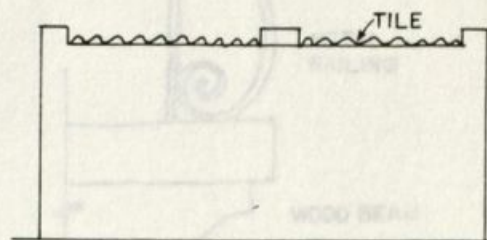
- The color of the tile should be an integral part of the material (color throughout the tile-not painted or glazed). The color of roof tile should be within a red-orange and yellow/orange range.
- Roof tile should be either flat or spanish"s"; however, spanish"s" is to be encouraged.
- The installation of roof tile located at wall coping is recommended.
- The use of tile at roof parapets, canopies, bell towers, portales, bus stops, and other design elements is recommended.
- Ceramic tile for building facade including wainscot is encouraged.
- Ceramic tile plaques with the name of the street, and name of the building, are recommended. Plaques should be located at prominent places in the building exterior wall or floor.
- Cuban or Italian ceramic tiles with designs in them are recommended. They should be installed in heavily used public spaces.
- Brick, tile, and other appropriate paving materials should be used for sidewalks, walkways and pedestrian crosswalks.



RECOMMENDED PAVING PATTERNS
FIG. 14



TILE AT CANOPY
FIG. 15



TILE AT WALL COPING
FIG. 15-A

- . The paving materials of the portales and the front yards of buildings are to be of similar material to the adjacent sidewalk. Brick pavers are preferred.

8. FOUNTAINS, SCULPTURES AND MURALS

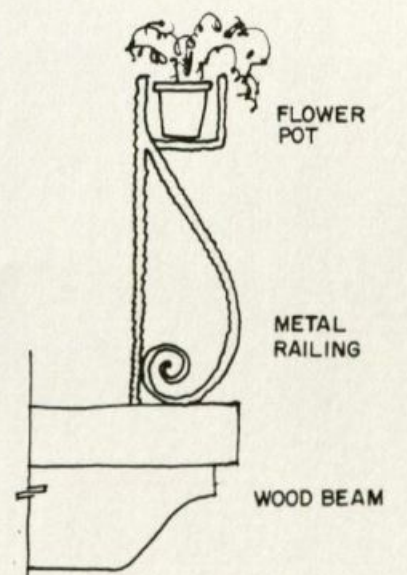
Fountains, sculptures, murals and artwork help create an atmosphere where people wish to congregate. The size, shape and scale should be appropriate to the setting. Fountains could be focal points in interior patios, plazas or in the proposed mall.

Guidelines

- . Fountains, sculptures and murals should be located in highly visible pedestrian areas.
- . Materials should be durable and resistant to urban pollution and stain.
- . Copings at fountains should provide a place for sitting.
- . Fountains should be an integral part of the spatial design.
- . Lights could give an added effect to the fountains, sculptures or murals.

9. PLANTERS

Planters, pots and trellises, help provide areas with a tropical atmosphere, and add color and interest to the space. Planters could be placed in a variety of locations, and be used to separate or define spaces. They could be used both for trees and plants and in a variety of shapes, textures and colors. The use of planters and pots is encouraged on sidewalks, balconies, and rooftops; in plazas and courtyards; and attached to railings.



FLOWER POTS AT RAILING

FIG. 16

Guidelines

- . Planters and pots should be of a durable material including concrete, wood, and stucco. Color and texture of the planter should be in harmony with the material and color scheme of the surrounding areas.
- . Planters for trees should be at least 3 feet deep and should drain well.
- . Planters designed to include seating should be approximately 18 inches in height and have a seating area of at least 12 inches in width.
- . Plant materials should not require a lot of maintenance, have thorns, poisonous fruits or objectionable odors.
- . Planter and pot sizes should be in scale with the size and use of the space.
- . The location of the planter should not interfere with pedestrian movement.

10. TRELLISES

Trellises provide the area with a tropical atmosphere. Trellises can be integrated with vegetation. This design element can be located in plazas, interior patios, terraces and on roofs. A transparent material can be installed on top of the trellises to protect people from rain.

Guidelines

- . Trellises for commercial uses should be located in visible areas.
- . Trellises should be located so as to appropriately screen sun rays.

C. THE BUILDING

- Vines, hanging plants, and Florida pots should be incorporated into the trellis structure.
- Trellises should be made of durable material capable of withstanding the South Florida weather. The use of cedar and redwood is recommended.

1. THE ROOF

Flat roofs can be used for outdoor terraces. Mechanical and electrical equipment located on the roof creates a sense of visual confusion. Also flashings, gutters and rainwater leaders occasionally contribute to give an unappealing character to the area.

Guidelines

- If a sloped roof is used, it should be of sufficient pitch as to be easily seen from the street, plaza or interior patio level.
- Pedestrian awnings should be provided on flat roofs whenever possible.
- Visible flashing shall be painted to match the surface of the wall above it or with an accent color.
- Rainwater leaders and gutters shall be concealed whenever possible, but if exposed they shall be painted either to match the color of the wall or be treated as an accent feature to the building.

2. THE FACADE AND BUILDING RELATIONSHIP

The facade is the most visible and important exterior surface of a

C. THE BUILDING

The architectural character of the Latin Quarter depends on the architectural treatment of the buildings. Among the most important visual design elements of the building are the roof, facade, color and building materials, signage, lighting, and others. A sensitive design that integrates harmoniously all of the components of the building will provide the area with the desired architectural character.

1. THE ROOF

Flat roofs can be used for outdoor terraces. Mechanical and electrical equipment located on the roof creates a sense of visual confusion. Also flashings, gutters and rainwater leaders occasionally contribute to give an unappealing character to the area.

Guidelines

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2. THE FACADE AND BUILDING RELATIONSHIP

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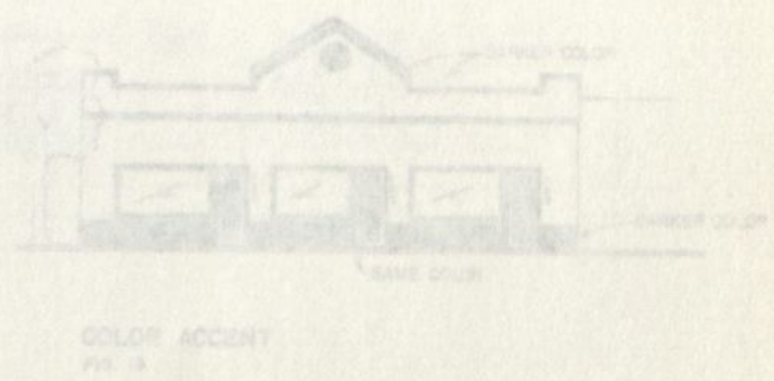
building. There may be a number of individual facades within the context of a single building. Also, a series of building facades constitute the "street block facade". In terms of importance, the lower portion of the facade is the most important on a narrow commercial street because it is the most visible; however, in a wide commercial street, the entire lower and upper portions of the facade are important because they are both visible. In commercial areas, the storefronts and doors are located on the lower facade, therefore, it is important to have an appealing design which provides a substantial amount of glass in order to facilitate the display of merchandise. Harmony among the different design elements - building masses, scale, height, rhythm, proportion, color, signage, awnings - is important in order to achieve a sense of order.

Finally, human scale is important since it relates to the height of the building adjacent to the street and the subdivision of the larger facade into smaller ones at ground level.

Guidelines

- A harmonious relationship shall be provided between the entire building, each facade storefront, and the neighboring storefront. Facades within a single structure shall be compatible with each other. Doors, windows and other elements of the facade shall also be visually compatible with each other.
- Transparency is very important on ground level of pedestrian streets and at other commercial areas. At least 30% of facade on the ground floor pedestrian street should be transparent. The use of reflective glass and glass blocks should be avoided at lower floors.

Building materials shall be matched as close as possible in



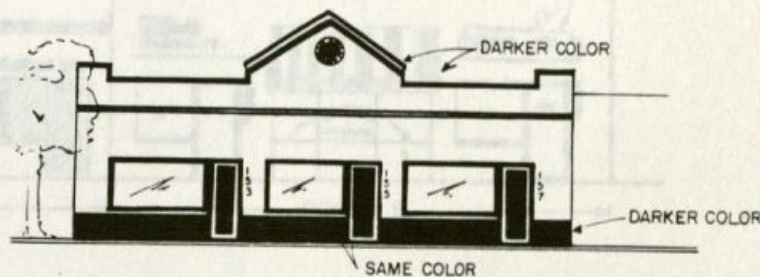
- Height compatibility with adjacent facades abutting the street is recommended.
- The use of incompatible building materials and colors shall be avoided.
- Exposed mechanical and electrical equipment on building facades shall be discouraged.

3. COLORS AND BUILDING MATERIALS

Achieving color compatibility within the same structure or adjacent buildings helps to visually unify the area.

Guidelines

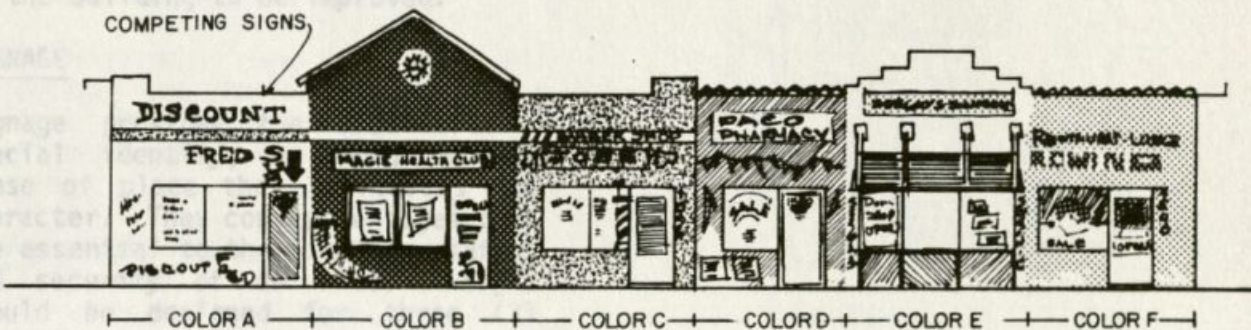
- White and off-white colors for walls should be encouraged. Also earthtone colors are acceptable.
- The use of unrelated colors for buildings, trims, or the use of different colors for different stores within the same building is discouraged.
- Color shall be used to accentuate prominent or positive features of the building such as cornices, corners, projections, overhangs, trims, doors, windows, and others.
- Signage color, material and size should complement the color and scale of the building and should not compete with it.
- Stucco (Textured or rough) as the principal building material shall be encouraged.
- Plywood for exterior use at pedestrian streets shall be discouraged due to durability and maintenance problems.
- Building materials shall be matched as close as possible in



COLOR ACCENT
FIG. 19

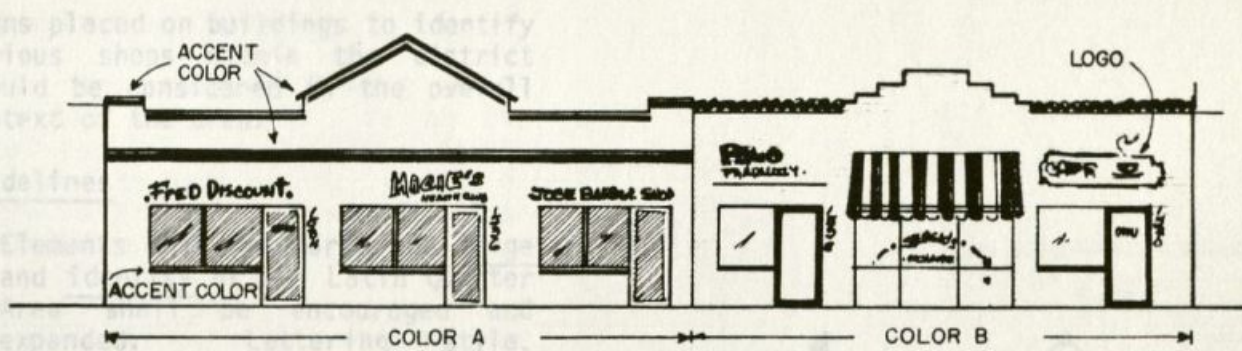
size, color, and texture to the original building materials when preparing to undertake additions, renovations and repairs.

If exterior improvements are to be made, they should be compatible with the architectural style of the building to be improved.



COLOR A | COLOR B | COLOR C | COLOR D | COLOR E | COLOR F

BEFORE
COLOR AND SIGNAGE DISHARMONY
 FIG. 17

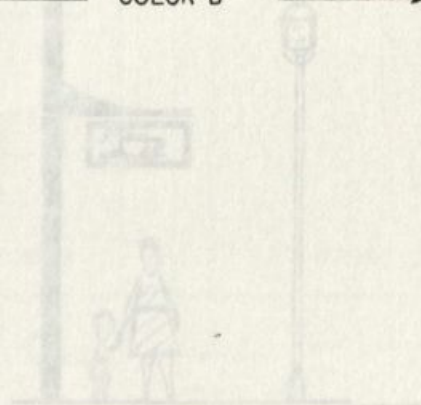


COLOR A | COLOR B

AFTER
COLOR AND SIGNAGE HARMONY
 FIG. 18

1. Letter style that conveys a Hispanic image should be used. Separate cut-out letters applied to the buildings face may be used and are subject to the same regulations as flat signs.

2. Logos and Symbols. The use of logos and symbols in small projecting signs or incorporated with a larger



SYMBOLS
 FIG. 20

size, color, and texture to the original building materials when preparing to undertake additions, renovations and repairs.

- . If exterior improvements are to be made, they should be compatible with the architectural style of the building to be improved.

4. SIGNAGE

Signage provides the area with a special identity, an image and a sense of place that reinforces its character. They convey messages that are essential to the function, safety and security of an area. Signs should be designed for three (3) basic functions: a) to help toward providing Latin Quarter with a clear identity; b) to identify commercial facilities; and c) to provide information on the direction or location of activities. (see Latin Quarter SPI)

Signs placed on buildings to identify various shops within the district should be considered in the overall context of the area.

Guidelines

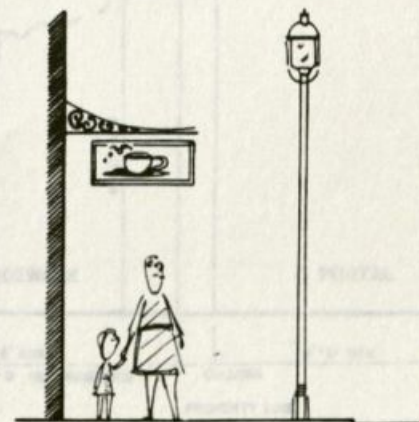
- . Elements that reinforce the image and identity of the Latin Quarter Area shall be encouraged and expanded. Lettering style, language, symbols, logos and plaques are among these elements.

1. Lettering style that conveys a Hispanic image should be used. Separate cut-out letters applied to the buildings face may be used and are subject to the same regulations as flat signs.

2. Logos and Symbols. The use of logos and symbols in small projecting signs or incorporated with a larger



PLAQUES



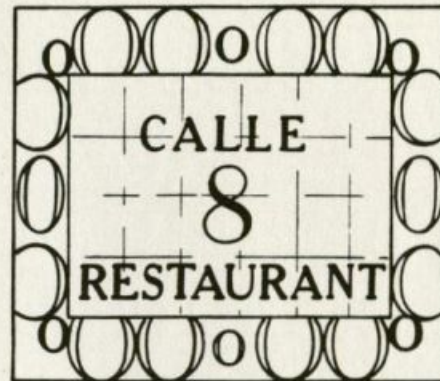
SYMBOLS

FIG. 20

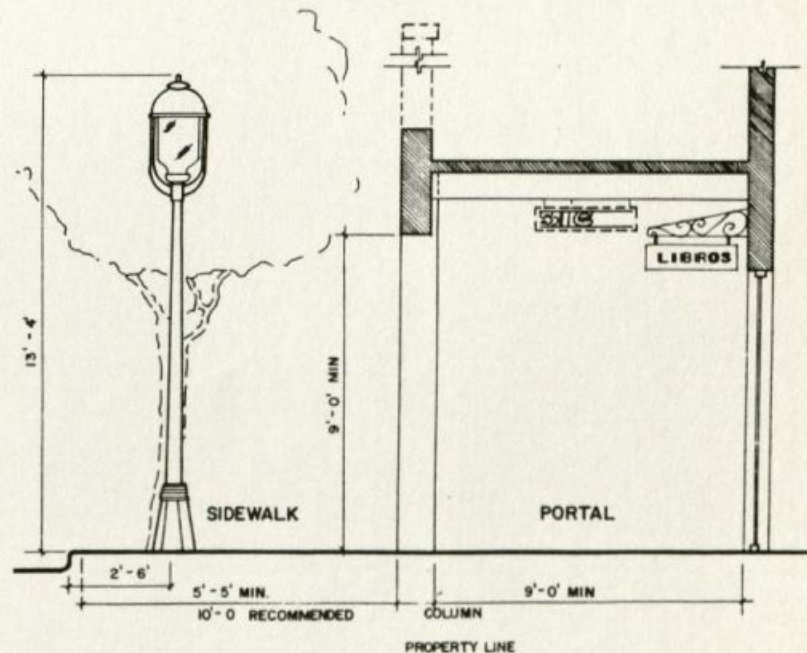
building sign that conveys the message and reduces lettering requirements shall be encouraged.

3. Plaques in ceramic tile located in the building facade or floor with the name and/or address of businesses is recommended.

- The message of the sign shall be concise and legible. Business signs shall consist only of name of business, address and phone number.
- Signs and displays for advertising or promotion and wall painted signs are not permitted.
- The scale of the sign should be in proportion with the architectural design of the building and the storefront. Signs will not be allowed to project above the roof line or cornice of a building or be mounted above the second story level of buildings.
- The signs shall be placed, either in the shop window, or on the portion of the building facade above the shop window, and below the sill of the second floor windows within the sign zone.
- Portales signs shall be located within the portales and above the storefront.
- Awning signs, symbols and designs may be included in the design of a storefront provided that such signs are compatible with both the design of the building and the awning.
- Storefront signs may be printed on the inside surface of the storefront and must be designed to be compatible with the design of the entire facade. Signs should be limited to lettering no greater



PLAQUES
FIG 21



PORTAL SIGN & LIGHTING DETAIL
FIG 22

than 4" height. When these signs are the only identifying signs for the property, 8" maximum lettering may be used for buildings that contain less than 25 linear feet of storefront; 10" maximum lettering for buildings that contain more than 25 linear feet of storefront. These signs shall not exceed 20% of the storefront window.

- Projecting signs. Only one projecting sign per shop shall be permitted. Signs shall be located in such a way that they do not obstruct adjacent signs. Projecting signs shall not be located closer than three (3) feet from the side property line.
- Wall murals done in mosaic tile containing graphics which emphasize the Hispanic culture should be encouraged.
- Provisions shall be made at lightposts and pedestrian signal posts throughout the pedestrian streets of the Latin Quarter for the installation of decoration for Christmas and major events. Permanent electrical outlets are to be included.

5. LIGHTING

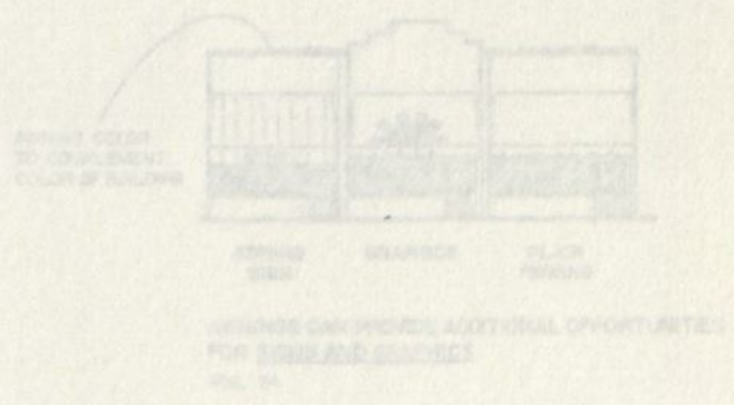
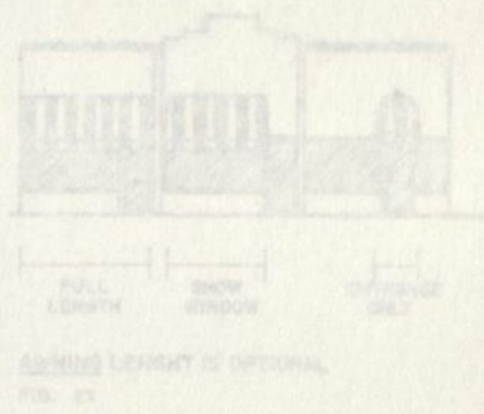
Lighting adds interest by accenting buildings, plantings, fountains, signs, graphics, sculpture, and other features in the urban context.

Guidelines

- Pedestrian oriented street lights containing special lighting features ("faroles" or lanterns) are recommended, along all pedestrian streets within the Latin Quarter including portales, sidewalks, building entrances, interior patios and other points of interest in order to enhance

the Latin identity of the area. The faroles design should be a consistent design feature throughout the area.

- Multiple luminaries mounted on a single pole should be considered for plazas and large spaces.
- Lighting of any landscaping adjacent to the facade should be accomplished through floor lighting.
- Accent lighting should be provided for buildings and sites, especially at the corners. Small white lights located at building edges and on important architectural features will contribute to give a special character to the area.
- Storefront lighting shall contribute to the character of the area. Accent lights around storefront opening is recommended.
- Fountains, statues and murals shall be illuminated.
- The installation of twinkle Christmas lights on trees along pedestrian streets and patios is recommended. Up-lighting of major trees located in interior patios and planters with color and/or white light is also recommended.
- Parking lot lighting shall be post-top type. Light features shall be compatible in design with street lights.
- Illuminated business signs shall be encouraged because they contribute to the image of the area. All lighting and electrical elements, including, but not limited to wires, conduits, junction boxes, transformers, ballasts, switches and panel boxes shall be concealed.

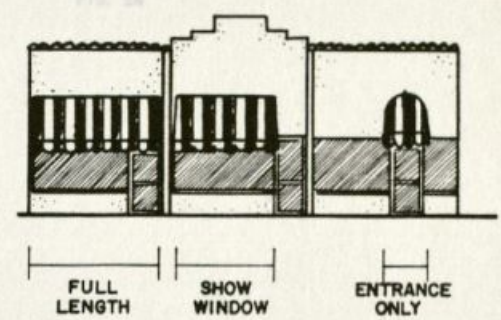
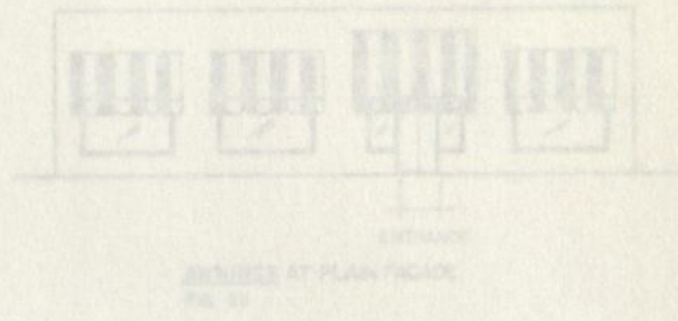


6. AWNINGS AND CANOPIES

Awnings and canopies can be used to improve the building facade and the pedestrian environment. Colorful awnings shall be encouraged. Their application offers a versatile means for reducing the effect of the sun's rays and glare; providing overhead protection during inclement weather; displaying the name or service of the establishment; serving as an attractive design feature, and; bringing color to the streetscape. Awnings of canvas or other synthetic materials can be designed to be a positive complement to many architectural styles, especially on buildings which are plain and lack character.

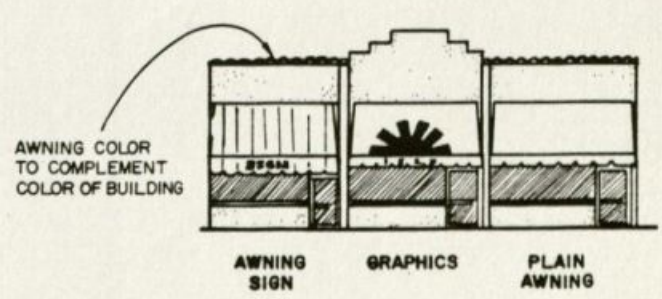
Guidelines

- . The design of the awning and canopies shall be in proportion with the building and its element.
- . Awnings and canopies can provide additional opportunities for signs and graphics. If the name of the establishment is to be shown on them, it shall be as small as possible and shall not dominate them.
- . Solid colors and stripes are recommended for awnings.
- . Canvas awnings design, materials, and colors shall be compatible with the storefront, building facade and portales.
- . On long horizontal buildings, segmenting awnings at each window should be utilized to emphasize entrances.
- . All awnings shall allow for a uniform height and clear distance of 9 feet from the ground to lowest point of the awning. The



AWNING LENGTH IS OPTIONAL

FIG. 23



AWNINGS CAN PROVIDE ADDITIONAL OPPORTUNITIES FOR SIGNS AND GRAPHICS

FIG. 24

maximum distance from the edge of the curb shall be 2 feet. Any awning material and installation shall be in conformance with the South Florida Building Code.

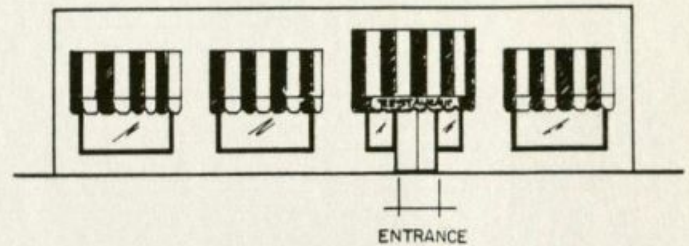
- Aluminum and metal-type awnings shall be avoided.
- Awnings which are suspended from above shall be avoided.
- All awnings shall be flameproof.

7. WALL, FENCES AND GATES

Walls and fences provide protection and safety and define spaces.

Guidelines

- Attractive walls or fences should be used where appropriate to protect private or public property, and to screen objectionable views, storage or equipment areas.
- Walls and fences should be used where space between buildings is used for parking or storage. They should harmonize with the building(s) and/or with other elements of the area.
- Exposed chain link fences shall be discouraged. In the event that a chain link fence is utilized, it should be combined with a hedgerow or vine.
- Murals, painting and other artwork should be installed or painted on walls.
- Gates define the entrances or the building, parking lots and other portions of the property. They should have an attractive design. Wrought iron gates are encouraged, especially at entrances to interior patios, and spaces heavily used by pedestrians.



AWNINGS AT PLAIN FACADE

FIG. 25



AWNINGS AT PORTALES

FIG. 26

8. OPEN SPACES: INTERIOR PATIOS, COURTYARDS, TERRACES AND ROOF RECREATION AREAS.

Open space is the space that is not physically occupied by buildings. The system of open spaces within the Latin Quarter district includes interior patios, alleys between buildings, terraces, roof recreation areas and spaces used for parking. Active and passive, and formal and informal spaces are needed to create a balanced open space system. These spaces need to be lively, attractive, and distinctive urban spaces. They need to be designed to reinforce the hispanic culture.

Interior patios and courtyards are ground level open space that can be used for outdoor cafes and restaurants, exhibits, special performance, or just used by the general public or building residents as passive open spaces.

Terraces are open spaces located at upper floors. They can be used by the general public for a variety of uses such as outdoor cafes, or used by the building residents as recreation space.

Roof recreation areas are spaces used mostly by building residents for recreation. They shall be easily accessible to all residents, including the handicapped. These spaces shall be safe, attractive, well lit for nighttime activity, have appropriate weather protection, and have efficient drainage.

Guidelines

- Interior patios, courtyards, terraces and roof recreation areas shall be durable, distinctive, colorful and made of materials appropriate for the type of use of the space. The use of gravel on

roof recreation areas is not acceptable. These spaces shall have appropriate drainage.

- . Interior patios and courtyard amenities should include but not be limited to: fountains, special lighting, comfortable and durable outdoor seating, and appropriate landscaping for shade and color.
- . Weather protection devices in interior patios can include: portales, glass enclosures, trellises, glass or fabric roofs, windbreakers and others.
- . Interior Patios should be located adjacent or with a visual connection to the sidewalk.
- . Terraces for public use should be located so that visual interaction with the street environment occurs.
- . Terraces to be used by the building residents shall provide visual privacy to the residents.
- . Roof recreation spaces shall provide appropriate landscaping and weather protection. The use of trees, trellises, canvas awnings and other shade devices is recommended.
- . Roof mounted mechanical and electrical equipment shall be appropriately screened from roof recreation spaces.

9. PARKING, LOADING AND UNLOADING

In order to attract more visitors, workers and residents to the Latin Quarter district, appropriate parking facilities should be centrally located, and must be developed in an efficient, safe, and aesthetic manner.

Guidelines

Parking Lots

- . Parking lots shall comply with the City of Miami Guides and Standards adopted June 15, 1983.
- . Parking lots shall be screened from public view by a five (5) feet high solid and continuous masonry wall whose surface is stuccoed, painted, tiled or textured in such a way as to provide a decorative effect. Berms, walls, hedges, and fences shall be provided at residential areas.
- . Parking lots wider than sixty (60) feet facing non pedestrian commercial streets shall be discouraged.
- . Access to parking lots shall be, whenever possible, at non-pedestrian streets in order to minimize pedestrian/automobile conflict.
- . Offstreet loading and service vehicle spaces shall not be located on pedestrian streets and shall be completely screened from public view at other commercial and residential areas.
- . No parking structure shall be located at the ground level of the "pedestrian streets." They can be located above, below, or behind pedestrian streets. In other commercial areas, commercial activity shall be encouraged on the street side of the structure.
- . The scale of the parking structure should be compatible with the surrounding development in terms of architecture, and in the use of colors and materials of the neighboring buildings.

- . Parking structures mixed with commercial and/or residential development should be designed in order to achieve architectural harmony within the entire development of the site.

10. MECHANICAL AND ELECTRICAL EQUIPMENT

Outdoor mechanical and electrical equipment is a necessary component of the building; however, it should be located so as not to disrupt the design of the building and the streetscape.

Guidelines

- . Building mechanical and electrical equipment located at the roof, walls, or ground level including, but not limited to, roof-mounted equipment, transformer vault, electrical panels, air conditioning units, pumps, pipes, ducts, fans and other equipment shall be enclosed or screened so as to be an integral part of the architectural design.
- . Site mechanical and electrical equipment shall also be screened from public view.

review board latin quarter district



ORDINANCE NO. 9925

AN ORDINANCE AMENDING CHAPTER 62 OF THE CODE OF THE CITY OF MIAMI, FLORIDA, AS AMENDED, ENTITLED "ZONING AND PLANNING" BY ADDING A NEW ARTICLE VIII TO SAID CHAPTER 62 ESTABLISHING A LATIN QUARTER REVIEW BOARD, AND PROVIDING FOR GEOGRAPHICAL JURISDICTION, MEMBERSHIP, FUNCTIONS, POWERS AND DUTIES, GENERALLY, AND PROCEEDINGS; FURTHER, PROVIDING FOR APPOINTMENT OF A LATIN QUARTER OFFICER AND APPEALS; CONTAINING A REPEALER PROVISION AND A SEVERABILITY CLAUSE.

WHEREAS, the Latin Quarter district within Little Havana, has long been one of the principal attractions for the residents and tourists in the City of Miami; and

WHEREAS, in order to promote, protect and preserve a unique Latin atmosphere that will result in the furtherance of the public welfare through benefits accruing to the economy, culture and education in Miami, and the quality of life of its citizens and visitors; and

WHEREAS, in order to protect the public welfare and to create a distinctive character in the Latin Quarter district, and to promote functional, safe, innovative and attractive site development that is compatible with the natural and manmade environment; and

WHEREAS, in order to preserve for the community the cultural and economic value of the area it is necessary that a reasonable degree of control be exercised over the development of the Latin Quarter district, including but not limited to, the architecture of private and public buildings, exterior spaces and public right-of-ways within the Latin Quarter District; and

WHEREAS, the Miami Planning Advisory Board, at its meeting of July 24, 1984, Item No. 8, following an advertised hearing, failed, during a 4 to 2 vote, to obtain the requisite number of votes for an affirmative recommendation, therefor constituting a RECOMMENDATION OF DENIAL of amending the City Code, as hereinafter set forth; and

WHEREAS, the City Commission after careful consideration of this matter deems it advisable and in the best interest of the general welfare of the City of Miami and its inhabitants approve this amendment to the City Code, as hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF MIAMI, FLORIDA:

Section 1. Chapter 62 entitled "Zoning and Planning", of the Code of the City of Miami, as amended, is hereby amended in the following particulars:¹

"Chapter 62

ZONING AND PLANNING

* * *
ARTICLE VIII - LATIN QUARTER REVIEW BOARD

Sec. 62-76. Definitions.

As used in this ordinance, the following words and phrases shall have the meanings respectively ascribed to them by this section:

Latin Quarter: That area approximately bounded by the center line of the block between NW 1st and 2nd Streets to the north; the center line of the block between SW 9th and 10th Streets (and its extension to the east) to the south; the commercial zoned area east of NW/SW 12th Avenue to the east; and the east side of NW/SW 17th Court (and its extension to the south) to the west as shown in the Zoning Atlas of the City of Miami made part of this ordinance.

Planning Director: Director of the Planning Department. Class "C" permit will be issued by the Planning Department before a building permit is granted.

Latin Quarter Special Public Interest (SPI) District: - SPI-14, 14.1, 14.2: Latin Quarter Commercial-Residential, and Residential Districts.

Latin Quarter Design Guidelines and Standards: Guidelines and Standards applicable to the Latin Quarter district adopted by the City Commission and made a part hereof by reference.

Sec. 62-77. Establishment.

There is hereby established a Board, to be known as the Latin Quarter Review Board (LQRB), for the purpose of certifying whether the design of developments and/or improvements within the Latin Quarter District are in conformance with the Latin Quarter design guidelines and standards and other

¹ Words and/or figures stricken through shall be deleted. Under-scored words and/or figures shall be added. The remaining provisions are now in effect and remain unchanged. Asterisks indicate omitted and unchanged material.

guidelines and standards and the intent of the Latin Quarter Special Public Interest District (SPI).

Sec. 62-78. Membership.

The Latin Quarter Review Board shall consist of nine (9) members, and one (1) alternate to be appointed by the City Commission.

a) Qualifications - It is intended that members of the Latin Quarter Review Board shall be persons of knowledge, experience, mature judgment and background, having ability, special professional training and interest to act in the public interest in order to make informed and equitable decisions concerning architectural design and protection of the physical and cultural environment.

To that end, qualifications of Board members shall be as follows:

(1) At least three (3) members shall be registered architects in the State of Florida: Each member shall have had five (5) years experience after registration in the practice of his profession, and must either be a resident of, or have his principal place of business in the City of Miami or have actively participated in the civic affairs of the Little Havana Community during the last five (5) years.

(2) Two (2) other members shall be professional engineers, registered landscape architects, or registered architects, and shall meet the same criteria as number one (1) above.

(3) At least four (4) members shall be residents, or have their principal place of business in the City of Miami, or have actively participated in the Civic affairs of the Little Havana Community during the last five (5) years.

(4) The alternate member shall satisfy the qualifications set forth in sub-sections one (1), or two (2), or three (3) above.

b) Procedure for Appointment - Subsequent to instating the original Board, no appointment shall be made by the City Commission for a membership on the Latin Quarter Review Board until the City Clerk shall have given notice of the vacancy in a newspaper of general circulation in the City and specifically within the Latin Community at least thirty (30) days prior to the making of an appointment, and the City Commission shall have solicited and encouraged public, professional, professional organizations, and citizen organizations having interest in and knowledge of the purposes and intent of the Latin Quarter Review Board to submit names of persons and their qualifications as prospective appointees to the Board. At least five (5) days prior to the making of any appointment, the City Clerk shall publicly make announcement that the list of the names submitted, together with

a short statement of the qualifications of each person, is prepared and available for public inspection and consideration.

No person shall be appointed to membership on the Latin Quarter Review Board whose name and qualifications have not been made publicly available in the manner set out. In reaching a decision on any appointment, the City Commission shall give due consideration to the qualifications thus submitted.

c) Terms of Office - Members of the Latin Quarter Review Board shall be appointed for two (2) year terms, except that members of the first Board appointed under this article shall be appointed as follows: five (5) members for a term of one (1) year, four (4) members for a term of two (2) years, one (1) alternate member for a term of two (2) years. Notwithstanding the above, individual members may serve until their successor is appointed and qualified.

No member of the Board shall be reappointed to more than two (2) consecutive terms.

d) Vacancies - Vacancies in the membership of the Latin Quarter Review Board shall be filled by the City Commission in the manner set forth in part (b) above, and shall be only for the unexpired term of the member affected.

e) Removal - Members of the Latin Quarter Review Board may be removed for cause by vote of not less than three (3) members of the City Commission; however, whenever a member has had within a calendar year, three (3) unexcused absences from regularly scheduled meetings, the chairman shall certify same to the City Commission. Upon such certification, the member shall be deemed to have been removed and the City Commission shall fill the vacancy pursuant to part (d) above.

Sec. 62-79. Functions, Powers and Duties, Generally.

No building, grading, parking, sign or other permit required within the Latin Quarter boundaries shall be issued for construction or improvement which will have as its basis a Class "C" special permit until the final design review plan is recommended to be approved or disapproved by the Latin Quarter Review Board and accepted by the Planning Director.

In addition to such other powers, duties and authority as may be set forth elsewhere in the City Code and in the Zoning Ordinance, the Latin Quarter Review Board is hereby authorized to:

(a) Review, recommend to approve or disapprove all applications, plans and specifications related to proposed projects involving development, redevelopment, remodeling, alterations, additions, improvements, signs and building attachments in the Latin Quarter District in accordance with the Latin Quarter Design Guidelines and Standards attached hereto and incorporated hereby by reference, and; other applicable guidelines and standards, as well as the intent of the Latin Quarter SPI. The Board

will review all projects along pedestrian streets and only projects involving exterior improvements or improvements to the area visible from the street in the remainder of the district.

(b) Require submission to the Board of all information as may be reasonably necessary for the Board to evaluate completely the proposed structure or improvement.

(c) Prior to the granting of a Class "C" special permit, the Planning Director shall seek the recommendations of the Board on all applications for building permits which are subject to this section.

(d) To recommend, from time to time to the Director of the Planning Department, modifications and/or amendments to the Latin Quarter Guidelines and Standards (AGS). Any modification or amendment to the Latin Quarter AGS shall be consistent with the intent of the Latin Quarter SPI.

(e) Adopt and amend Rules of Procedure.

Sec. 62-80. Proceedings.

a) Officers - The Latin Quarter Review Board shall select a chairperson and vice chairperson from among its members to serve for a one-year term and may create and fill such other offices as it may deem necessary or desirable.

b) Rules of Procedure - The Latin Quarter Review Board shall establish rules of procedure necessary to its governing and the conduct of its affairs, in keeping with the applicable provision of the City Charter, ordinances and resolutions. Such rules of procedure shall be available in written form to persons appearing before the Board and to the public upon request.

c) Meetings - The Latin Quarter Review Board shall meet at least once per month, except August where there will be no meeting, with all meetings open to the public. Notice of meetings shall be posted at the City of Miami Administration Building.

d) Voting; Quorum - All decisions and recommendations of the Latin Quarter Review Board shall require a concurring vote of a majority of the members present. Five (5) members shall constitute a quorum. In case of a tie vote, such vote shall be construed as a denial.

e) Assignment of Personnel - The City Manager shall assign adequate staff to the Latin Quarter Review Board to carry out its responsibilities and duties, including but not limited to representatives from the Departments of: Planning; Planning and Zoning Administration; Law; and Fire, Rescue and Inspection Services.

f) Public Record - Minutes of each Latin Quarter Review Board meeting shall be prepared by staff representatives assigned by the City Manager, under

the supervision and direction of the Board. Copies of the minutes and all certificates issued by the Board shall be filed with the City Clerk.

Sec. 62-81. Latin Quarter Officer.

The City manager shall appoint a person from the Planning Department to serve as Latin Quarter Officer to assist the Latin Quarter Review Board. The appointee shall be experienced and knowledgeable in respect to architectural design, urban design, site planning, and land use control regulations. In addition to such duties as may be set forth in Sections 15140 thru 15145 of the Zoning Ordinance.

The Latin Quarter Officer Shall:

- 1) Schedule meetings of the Latin Quarter Review Board, prepare agendas, and ensure that proper notice is carried out by persons or departments assigned to such duties.
- 2) Provide applicable advice, standards, guidelines and procedures in the Latin Quarter SPI.
- 3) Prepare summary reports of Board decisions.
- 4) Work with other City departments, public agencies, and private groups as required to provide coordination on redevelopment efforts.

Sec. 62-82. Appeals from Decision.

An appeal from any decision of the Director of the Planning Department must be filed within five (5) days from his decision and may be taken to the Zoning Board by any person who is aggrieved by such decision, or by the Latin Quarter Review Board or any officer of the City. At the time any such appeal is considered by the Zoning Board such Board shall give the Latin Quarter Review Board, as the case may be, and the appealing party, an opportunity to be heard."

Section 2. All ordinances, code sections or parts thereof in conflict herewith are hereby repealed insofar as they are in conflict.

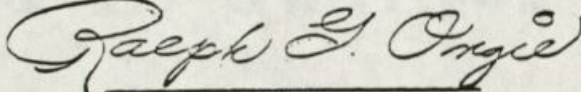
Section 3. Should any part or provision of this ordinance be declared by a Court of competent jurisdiction to be invalid, the same shall not affect the validity of the Ordinance as a whole.

PASSED ON FIRST READING BY TITLE ONLY this 13th day of September, 1984.

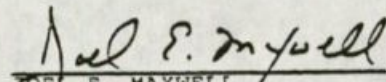
PASSED AND ADOPTED ON SECOND AND FINAL READING BY TITLE ONLY
this 10th day of October, 1984.

Maurice A. Ferre
MAURICE A. FERRE, Mayor

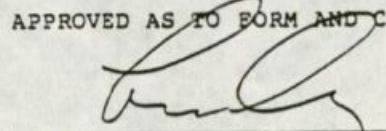
ATTEST:


RALPH G. ONGIE
City Clerk

PREPARED AND APPROVED BY:


JOEL E. MAXWELL
Assistant City Attorney

APPROVED AS TO FORM AND CORRECTNESS:


LUCIA A. DOUGHERTY
City Attorney

JEM/wpc/ab/268

zoning latin quarter district



CITY OF MIAMI PLANNING DEPARTMENT, FEBRUARY 1984

SECTION 15140. SPI-14, 14.1, 14.2: LATIN QUARTER COMMERCIAL-RESIDENTIAL AND RESIDENTIAL DISTRICTS.

SECTION 15141. INTENT.

The Latin Quarter is of special public interest because of the area's distinctive ethnic culture that includes the language, history and atmosphere. The intent of this district designation is to reinforce and expand the area's individuality as well as to develop a hispanic architectural character that maximizes the resident's quality of life and attracts visitors and tourists.

15141.1. Intent Concerning Character, Uses, Traffic, Pedestrian Circulation, Mixed-use, Architectural Design, and Open Space for SPI's 14, 14.1, 14.2.

1. SPI-14 Commercial-Residential District. The intent concerning character, uses, traffic and pedestrian circulation is to create an active, lively, distinctive and well designed urban environment which reinforces the hispanic culture. It is intended to create a distinct character that encourages specialty retail activity, services, major events, exhibits and cultural uses with a strong pedestrian orientation, uninterrupted along ground level pedestrian frontages by uses which are not pedestrian oriented. It is also intended to facilitate opportunities for living above place of business including combining residential and nonresidential uses in a pattern minimizing potential adverse effects of such combinations as well as minimizing pedestrian/automobile conflicts. The intent concerning architectural design and open space is to create an environment depicting a hispanic and tropical character; attractive, pedestrian open spaces including plazas, courtyard, terraces, and portales (covered arcades) available to the general public; and appropriately located recreation areas serving the resident population. It is also intended to create an interaction with the street environment by the use of terraces and balconies.
2. SPI-14.1 Commercial-Residential Districts. The intent is to facilitate the creation of additional neighborhood services, and to facilitate the expansion of commercial areas and economic opportunities in the neighborhood.
3. SPI-14.2 Residential Districts. The intent is to preserve and upgrade these areas; to allow the most basic neighborhood commercial uses within residential areas; to allow employment opportunities in the residential areas, and; to facilitate the creation of a district which reinforces the hispanic culture throughout innovative site planning and distinct architecture.

SECTION 15142. SPECIAL PERMITS

15142.1. When Required.

No building permit shall be issued within the boundaries of the Latin Quarter Districts for any project involving new construction; exterior improvements including but not limited to fences, walls, decorative building features and attachments, landscaping devices, pavement treatments, color, signage and alterations along pedestrian streets, and projects involving only improvements visible from public right-of-way in the remainder of the area without the obtainment of a Class C special permit.

In making a determination on Class C special permits the Planning Director shall obtain the advice and recommendations of the Latin Quarter Review Board (LQRB).

The Board shall take into consideration the Latin Quarter Design Guidelines and Standards.

15142.2. Materials to be Submitted with Applications. Review Process.

Materials to be submitted with applications for special permits within these districts shall be as required generally at Section 2304.

In addition, three (3) complete sets of architectural drawings and specifications (where required), preliminary (optional) and final drawing containing a minimum of a site plan, floor plans, elevations and sections of the project, shall be presented to the Latin Quarter Review Board (see Latin Quarter Review Board Ordinance No. _____, and Latin Quarter Design Guidelines and Standards). The Board may also require submission of photographs of adjacent buildings and buildings in the vicinity, and samples of building materials, if appropriate, and proposed colors, and may require such additional information as reasonably may be necessary for the Board to completely evaluate the proposed structure or improvement.

Approval in Principle. "Approval in Principle" is optional and may be obtained from the Latin Quarter Review Board before proceeding with the final working drawings. Photographs of adjoining properties, if appropriate, shall be presented with the preliminary plans. Plans to scale for additions or exterior alterations to existing buildings shall show all elevations of all facades of the building where the alteration occurs, or where the addition is to be attached. If the preliminary plans are revised, in accordance with the suggestions of the Board, the original drawings showing the Board's suggestions shall be returned with the revised drawings as a precondition to obtaining approval in principle from the Board.

If the Latin Quarter Review Board recommends approval of the design, the applicant may proceed with the working drawings. If the Latin Quarter Review Board recommends disapproval of the design based on the intent of the Latin Quarter SPI, Latin Quarter Design Guidelines and Standards, and other City Guidelines and Standards, the applicant shall resubmit the design with the modifications for approval prior to working drawings.

Final Approval. Prior to the issuance of Class C permit in connection with new construction, the alteration of an existing structure, exterior improvements, signs, etc., the Board must review and recommend approval or disapproval of final working drawings (and specifications if appropriate).

If the Latin Quarter Review Board recommends approval of the design, the applicant shall proceed with the building permit process. If the Latin Quarter Review Board recommends disapproval of the design, the applicant shall modify the design and resubmit the project for approval. The Latin Quarter Officer shall, within five (5) working days of such action, submit the Latin Quarter Review Board recommendations to the Planning Director which describe the nature of the work and/or the condition of the approval or disapproval for the Director to review before issuing the Class C permit. The original of the report shall be filed for the Board in the Planning Department.

Sign Requirements. Current color slides or photographs of the property which show its present condition and which accurately represent the existing materials, colors and textures shall be submitted. All slides or photographs shall be labeled to indicate the property name and address, and the direction of view. Three (3) copies of elevation drawings showing the size of the sign in relation to the building and the location of the sign, complete with dimensions showing ground clearance, length, height, width and

projection shall also be submitted. Scale drawing showing the size of the sign, details of construction, materials, colors, lighting, style and spacing of letters, and method of support and electrical connections, shall also be submitted.

Building Color Requirements. For repainting an existing structure or design element, current color photograph of the property should be included showing its present conditions viewed from the street and color chip(s) of proposed colors. For new building or design element, color chip(s) should be provided and indicated in the building elevation(s).

15142.3. Considerations Generally.

The general purpose of such special permit considerations shall be to determine conformity of the application as submitted, or with such conditions and safeguards as may reasonably be attached to assure such conformity, with the requirements and expressed intent of these regulations as applying generally throughout the district, as well as to any conditions, limitations or requirements specified for particular uses or locations.

SECTION 15143. COMMERCIAL-RESIDENTIAL DISTRICT (SPI-14).

15143.1. Special Consideration on Pedestrian Street Frontages

On pedestrian street frontages, as shown in the Zoning Atlas the following special principles and considerations shall apply:

Ground floor frontage along pedestrian streets shall be developed primarily for uses promoting pedestrian traffic. ("Ground floor frontage", as used here, is to be construed as including portions of buildings directly accessible from pedestrian ways, as in the case of split-level developments with part of the entries above grade and part below, but all directly accessible from pedestrian open space. Permissible ground floor frontage uses shall occupy a minimum of fifteen (15) feet in depth from the front yard).

Pedestrian open space for all ground floor uses along pedestrian streets may be provided at ground level or located at first and/or second level above grade at terraces and decks facing the street and/or plaza. To these ends, all pedestrian open space provided on pedestrian street frontages shall be appropriately landscaped at ground level and furnished for active and passive pedestrian enjoyment, comfort and convenience.

15143.2. Permissible Principal Uses and Structures.

15143.2.1. Principal Uses Permissible on Ground Floor Frontage of Pedestrian Streets and Elsewhere on SPI-14.

The following principal uses shall be permitted only on the ground floor frontage of pedestrian streets and elsewhere on SPI-14:

1. Retail establishments, as follows: food stores including ice cream stores, candy and candy manufactured for public display and retail sales, bakeries, confectioneries, and gift shops, delicatessens, fruit and vegetable markets; package liquor stores (without drive-in facilities); cigar sales and hand-manufacturing stores in connection with retail sales; flower shops including plant and shrub sales; clothing stores (new); leather goods; shoes; antique stores, art stores and commercial art galleries; auction galleries for sale of antiques, art objects, jewelry and the like; ceramic, china, porcelain glass and manufacturers of

- 1514 glassware for public display and retail sales, crockery stores; jewelry stores (except pawn shops) and silversmiths; bazaars, boutiques and hobby shops for sale of souvenirs; small electronic equipment and home appliance stores; stamps and coin stores; sportswear and sporting goods; travel agencies and real estate offices; pet shops; stationery and office supply stores open to the general public; book stores excluding adults book stores and newsstands; photographic studios, photographic supply stores and records stores; optical goods stores; interior decorator supply stores; general home furniture (new) stores; bicycle stores. Hardware stores (not to exceed 60 linear feet at ground level street frontage). Such establishments may provide incidental repair, maintenance, adjustment or alteration services as appropriate, but facilities, operation and storage in relation to such services shall not be visible from any street or street-related pedestrian open space. Aside from antique stores, auction galleries, art galleries, book stores, and jewelry stores, no such retail establishment shall deal in second-hand merchandise.
2. Cultural facilities, entertainment and recreational uses as follows: live performances; dancing; music; theatres and movies; art galleries, museums and art workshops both indoor and outdoor; auditoriums; concert halls; and similar uses, but excluding activities associated with adult entertainment.
 3. Restaurants and cafes (indoor/outdoor) except drive-in, tearooms, including those with dancing, live entertainment and with outdoor dining areas; and similar uses but excluding activities associated with adult entertainment. They are subject to limitations indicated for transitional locations.
 4. Bars, saloons, taverns, and private clubs, including those with dancing and live entertainment; and similar uses, but excluding activities associated with adult entertainment, are permissible in such ground floor locations along pedestrian streets or elsewhere within this district only by special exception, and only subject to limitations on transitional locations.
 5. Publicly-owned or operated parks, mini parks or recreational/cultural facilities.
 6. Service establishments, which typically rely on business attracted by window display of services or merchandise, including tailoring, custom dressmaking, millinery or drapery fabrication, except where products are for off-premises sale; pharmacies; barber shops and beauty parlors; photostat and duplicating service; locksmiths; shoe and leather goods repairs.
 7. Production of handmade artwork and mass-produced artwork incidental to sale at retail on the premises and for public display.
 8. Banks, savings and loan associations and similar financial institutions not to exceed 60 linear feet at ground level street frontage. Excludes drive-in tellers.
 9. Hotels and other facilities for transient dwelling or lodging. Retail use shall occupy at least seventy (70%) percent of ground level street frontage when facility exceeds 100 linear ft.
 10. Entrances to uses above or behind.
 11. Commercial parking garages with commercial activity at ground level pedestrian street frontage.
 12. Structures and uses relating to operation of public utilities, railway or other transit right-of-way.
 13. Places of worship.
 14. Mortuaries or funeral homes with not to exceed two retorts as an accessory use.
 15. Structures and uses other than those listed above required for the performance of a governmental function, except uses involving extensive storage or with storage as the primary purpose.
 16. And other similar types of merchandise which are not more objectionable to the public welfare than the item listed above.

15143.2.1.1. Limitations on Outdoor uses.

All sales, display and service activities of uses permissible in Section 15143.2.1 above shall be contained within completely enclosed buildings, except that in open space or partially open space there may be: outdoor dining areas and cafes; exhibits and sale of arts and crafts (other than those involving mass-produced items); souvenirs; sale and display of flowers, plants and shrubs, vegetables, produce, citrus or other unpackaged food. Also sidewalk vendors shall be allowed.

15143.2.2. Principal Uses Permissible on the SPI-14 Except on Ground Floor Frontage of Pedestrian Streets.

In addition to all uses permissible on ground floor frontage of pedestrian streets, as indicated on Section 15143.2.1 the following shall be permitted either above or behind establishments developed with such frontages, but not within such ground floor frontage, except as provided on Section 15143.2.3.

1. As for the RG-3 for uses permitted or permissible therein, provided that:
 - (a) In this district, regardless of special permits required in RG-3, all uses require Class C permits unless otherwise specifically provided.
 - (b) In buildings containing combinations of residential and office uses, limitations as to proportion of office to total floor area shall be only as specified in Section describing floor area limitations.
 - (c) Rooming houses and community-based residential facilities are excluded.
2. Dancing, parties and/or banquets or social halls; private clubs; lodges; fraternities, and sororities shall be permissible only by special exception.
3. Offices, business or professional; banks, savings and loan association.
4. Schools, public or private including business colleges, trade schools (except those having external evidence or activities of an industrial nature); conservatories; dancing schools.
5. Day nurseries, and schools shall be permissible only by special exception.
6. Clinics; laboratories, medical and dental offices shall be permissible only by special exception.
7. Parking lots and parking garages shall be permissible only by special exception. Parking lots shall provide a visual screen from the street.
8. Sewing shops.
9. Health, fitness clubs but excluding uses associated with adult entertainment.

15143.2.3. Special Rules Concerning Extent and Location of Certain Uses on Ground Floor Frontage of Pedestrian Streets (SPI-14)

The following rules shall apply concerning extent and location of the following uses on ground floor frontage of pedestrian streets:

1. On corner lots adjoining pedestrian streets on two exposures, limitations as to the uses permitted on ground floor frontage shall apply to both exposures of such lots.
2. Where the frontage of a lot on a pedestrian street is occupied at the ground floor level by uses permissible under the limitations of Section 15143.2.1 for at least 70% of lot width, the remaining frontage may be occupied as entrances inside or outside buildings to uses above or behind those on the ground floor frontage, or as driveways walkways providing access to uses or parking or service areas behind the pedestrian frontage.

15143.3. Permissible Accessory Uses and Structures.

Uses and structures which are customarily accessory and clearly incidental to permissible principal uses and structures, approved in the same special permit proceedings, and initiated or completed within any time limits established generally or in relation to the special permit, shall be permitted subject to limitations established by these or generally-applicable regulations. Other accessory uses and structures shall require a Class C special permit. The following special limitations or exceptions shall apply to accessory uses and structures in this district:

1. Roofed shelters open at the side and toward the street for at least 40% of the perimeter of coverage, glassed enclosures which have at least 40% of operable sliding glass doors; exhibit and display stands and cases; community or neighborhood bulletin boards or kiosks. Such facilities for outdoor service or display may be permitted in appropriate locations in any pedestrian open space on private property fronting on a pedestrian street if they do not interrupt pedestrian traffic flow, either under original special permit action or by subsequent Class C special permit. If so approved, such shelters, structures or facilities shall be exempted from limitations generally applying to occupancy of yards or pedestrian open space. Sheltered areas as indicated and areas for service of food or drinks shall not be included in floor area limited by floor area ratios on the property, or counted in computing offstreet parking requirements. Occupancy by such shelters, structures or facilities shall not exceed 25% of total pedestrian open space required in relation to the property. In this district, such coverage or occupancy shall be allowable notwithstanding general limitations on occupancy of required yards in other open spaces.
2. Temporary shelters, bulletin boards, kiosks, signs, exhibit and display stands, and facilities for service of food and drink may be permitted in appropriate locations in pedestrian open space within property line on a pedestrian street. If so approved, such structures shall be exempted from limitations generally applying to yards, pedestrian open space, and floor area. Occupancy by such shelters, structures or facilities shall not exceed fifty (50%) percent of the required plaza area.
3. Outdoor exhibits, displays, sales or other activities may be conducted in pedestrian open space on property adjacent to pedestrian streets even though not customarily accessory to the adjacent principal use, if approved as to location, design, improvement. They shall also include provisions for maintenance, management and provision for free pedestrian movement through the area without unreasonable interruption by facilities or activities in connection with the special permit required. Areas or facilities so approved may be used for regular, intermittent, or temporary special events without further permitting which might otherwise be required under these zoning regulations for such events.
4. Temporary special events involving gatherings at opening ceremonies, special promotions, amusement activities, and the like, to the extent not otherwise licensed, controlled, or regulated under other City regulations, shall be permissible only by Class B Special Permit subject to the following conditions:
 - (a) Such use shall not be established for a period exceeding fifteen (15) days, nor shall any one location be used within ninety (90) days for a similar purpose.
5. No above-ground offstreet parking or loading areas shall be permitted between any front portion of a building and the front line of a lot adjoining a pedestrian street, provided however that offstreet parking for bicycles may be permitted in such areas, subject to limitations and requirements as to location, design and number established in connection with special permits.

15143.4. Transitional Requirements and Limitations.

Transitional requirements and limitations for commercial areas on SPI-14 shall be as for CR districts.

15143.5. Minimum Lot Requirements; Floor Area Limitations; Minimum Open Space Requirements.

15143.5.1. Minimum Lot Requirements.

1. For residential uses only, not involving mixtures with other uses, minimum lot width and area shall be as for RG-2 districts.
2. For other uses, and for mixtures of other uses with residential uses, no specific dimensional minimum requirements are established (except for floor area increases provision in Section 15143.5.2.1.), but lots shall be of sufficient width and area to conform with other requirements and limitations of these and other lawful regulations.

15143.5.2. Floor Area Limitations.

15143.5.2.1. Floor Area Limitations for Residential or Non-residential Use in a Building; Floor Area Limitations for Combination Residential and Non-residential Uses in a Building.

Except as modified by Section 15143.5.2.2 below:

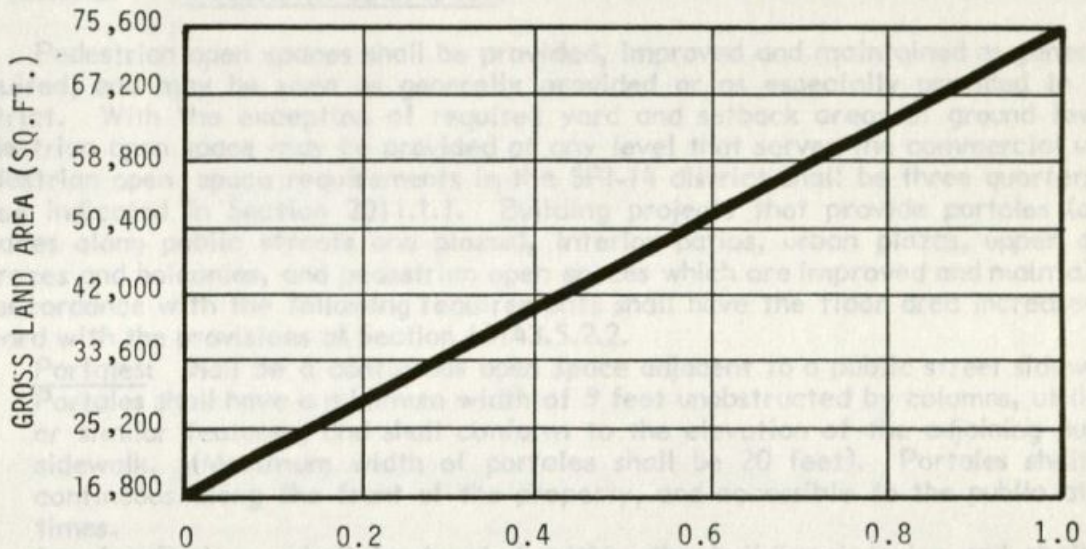
1. For SPI-14, the maximum floor area ratio for residential or non-residential use in a building shall not exceed .80 times the gross lot area regardless of lot size.
2. For SPI-14, along pedestrian streets and the south side of SW 7th Street, on lots having a minimum net lot area of 13, 300 sq.ft., the maximum floor area ratio for hotels, specialty centers, combined residential and non residential uses in buildings providing a minimum of thirty (30%) percent residential and thirty (30%) percent non residential uses, shall not exceed 1.72 times the gross lot area (not counting allowable increases in floor area as set forth in 15143.5.2.2). The total floor area ratio including allowable increases in floor area as set forth in 15143.5.2.2 shall not exceed 2.26 times the gross lot area.
3. Open terrace or open balconies with or without temporary fabric cover fronting pedestrian streets used for food related activities shall not be included in the computation of floor area limited by floor area ratios on the property or counted in computing offstreet parking requirements, but occupancy by such terraces or balconies shall not exceed 25% of the total pedestrian open space in relation to the property.

15143.5.2.2. Allowable Increase in Floor Area on SPI-14 at Pedestrian Streets and South Side of SW 7th Street: For Pedestrian Open Space; Mixed Use Buildings; Theaters; Underground Parking; Larger Lots.

The floor area and/or floor area ratio shall be increased in conformance with the following provisions and limitations:

1. Pedestrian Open Space: For every sq.ft. of pedestrian open space that a building provides that meets the requirements of Section 15143.5.3.2, over the required amount of pedestrian open space as determined by the applicable Land Use Intensity (LUI) ratio, the floor area shall be increased by two sq.ft. for any permissible uses. The increase shall not exceed a maximum of 0.3 times the gross lot area. Before any floor area or floor area ratio increase can be applied, portales must be provided.

2. Mixed Use Buildings: For every sq.ft. of gross residential floor area that a combination of residential and non-residential building provides within the basic FAR of 1.72, the floor area shall be increased by one sq.ft., for any permissible uses. The increase shall not exceed a maximum of 0.5 times the gross lot area.
3. Theaters: For each one gross sq.ft. that a building provides for a theater for the performing arts or for a community theater the floor area shall be increased by four sq.ft. A community theater is defined as an enclosed space suitable for a variety of cultural arts performances, permanently available. Principal use of the space shall be for public performing arts presentations, although incidental use for private meetings, exhibits and presentations shall be permitted. The increase shall not exceed a maximum of 0.2 times the gross lot area.
4. Underground Parking: For every three sq.ft. of floor area of underground parking (the top of the roof of the underground structure shall not exceed 3.5 feet above adjacent public sidewalk) that a building provides as an incidental principal use, the floor area shall be increased by one sq.ft. for permissible use. The increase shall not exceed a maximum of 0.3 times the gross lot area.
5. Larger Lots: The floor area ratio shall be increased in conformance with the following chart. The increase shall not exceed a maximum of 1.0 times the gross lot area.



LAND USE INTENSITY (F.A.R.)
Allowable Increase in FAR for Larger Lots

15143.5.2.3. LUI Ratings and Related Ratios Applying Within SPI-14.

The Land Use Intensity (LUI) ratings are related ratios applying within SPI-14 of the Latin Quarter District and shall be provided as in Section 2011.1.1. The tables are based on gross land area and all computations concerning increases in floor area as allowed in Sections 15143.5.2.1, 15143.5.2.2, 15143.5.3.2, must be converted into floor area ratio as applied to gross land area to derive the correct LUI number and its related ratios (open space, livability space, pedestrian open space). For example, assume a gross land area of 20,000 sq.ft., a non-residential FAR of 2.0 and an allowed increase of 5,200 sq.ft.; the computation would be: $20,000 \times 2 + 5,200 = 45,200 \div 20,000 = 2.26$ gross FAR with a LUI rating of 75. (See Section 15143.6.1.)

15143.5.3. Minimum Open Space Requirements.

15143.5.3.1. Minimum Yards.

Except as required in specified transitional locations, yards in SPI-14 shall be as follows:

- (a) Front and street side yards adjacent to street shall be a minimum of 10 feet except at the south side of SW 7th Street, 9th Street, and the Avenues and Courts located south of SW 8th Street where the yard adjacent to the street shall be a minimum of 20 feet.
- (b) Other yards: There are no minimum requirements, except for building spacing or transitional requirements.
- (c) Portales may be constructed within the yard space. However, when front or street side yards are 20 feet a minimum of 10 feet shall be provided between the sidewalk and the external face of the portal (see Section 15143.5.3.2.)
- (d) Construction above portales may be allowed to a maximum height of 30 feet along pedestrian streets and the south side of SW 7th Street.

15143.5.3.2. Pedestrian Open Space.

Pedestrian open spaces shall be provided, improved and maintained as generally required, and may be used as generally provided or as especially provided in this district. With the exception of required yard and setback areas at ground levels, pedestrian open space may be provided at any level that serves the commercial uses. Pedestrian open space requirements in the SPI-14 district shall be three quarters of those indicated in Section 2011.1.1. Building projects that provide portales (open arcades along public streets and plazas), interior patios, urban plazas, upper deck terraces and balconies, and pedestrian open spaces which are improved and maintained in accordance with the following requirements shall have the floor area increased in accord with the provisions of Section 15143.5.2.2.

1. Portales: shall be a continuous open space adjacent to a public street sidewalk. Portales shall have a minimum width of 9 feet unobstructed by columns, utilities or similar features, and shall conform to the elevation of the adjoining public sidewalk. (Maximum width of portales shall be 20 feet). Portales shall be continuous along the front of the property, and accessible to the public at all times.
2. Interior Patios: shall be located within the building interior and shall be accessible to the public at all times during business hours of the commercial establishment. Interior patios shall contain substantial amenities for public enjoyment such as fountains, seating, landscaping, art work, lighting, different floor finishes and other improvements. Outdoor cafes, vendors, display space, and/or retail stores on the perimeter may occur. Minimum unobstructed patio size is 400 sq.ft. and a minimum dimension of 15 feet.
3. Urban Plaza: space shall be open and unobstructed to the sky or covered with a trellis, a visible transparent or translucent material for an area not less than its minimum required size and accessible to the public at all times during business hours. Qualified urban plaza space shall contain substantial amenities for public enjoyment such as fountains, seating, landscaping, art work, lighting. Qualified urban plaza space shall have a minimum area of 600 sq.ft., shall extend along a public sidewalk for a length of at least 20 feet and permit unobstructed access from a sidewalk for a length of at least 20 feet. It shall also have a minimum depth of at least 20 feet and be level with the public sidewalk. This space shall not exceed 50% of the linear frontage of the site on any given street. The plaza

space shall have a direct pedestrian connection to any internal development circulation corridors, malls, lobbies or similar primary pedestrian distribution systems within a structure abutting the plaza. Distance from one plaza to another shall be a minimum of 300 feet along the same sidewalk.

4. Upper Deck Terraces: shall be located at upper floors, facing the street, at interior patio or in an urban plaza, accessible to the public at all times during business hours of the commercial establishment. Upper deck terraces shall have a minimum width of 10 feet and a minimum area of 200 sq.ft. They shall be open and unobstructed to the sky or covered over with a trellis, visible transparent or translucent material or canvas awning.
5. Balconies: shall be located at upper floors visible from the street (pedestrian, arterial or collector). Balconies shall have a minimum width of 4 feet and a minimum length of 4 feet. It shall be located in front of the doors of residential and/or commercial establishments. Balconies may penetrate the height envelope's light planes not more than 25%.

15143.5.3.3. Building Spacing.

Yards as required above shall be increased as necessary to meet requirements of Section 2013, Open Space and Building Spacing, and the building spacing requirements therein shall govern distances between buildings and portions of buildings where more than one building is located on a lot. For building purposes, in the case of non-residential buildings all walls other than tertiary shall be construed to be secondary walls.

15143.5.3.4. Transfer of Development Rights.

Transfer of development rights shall be permissible only by Class C special permit.

15143.6. Height Limitations.

There shall be no height limitations in this district.

15143.6.1. Height Envelopes by Land Use Intensity Ratings - SPI-14.

Height envelopes shall apply to all uses except where transitional requirements impose greater limitations. Balconies, parapets and sun screens above 40 feet high may penetrate light planes; such penetration shall not exceed 5 feet. Also, building columns may penetrate light planes.

Land Use Intensity Ratings

	<u>60-75</u>
Plane II (feet)	40
Light Planes, front, street side and rear (degrees)	80
Plane III (feet)	-

15143.7. Offstreet Parking and Loading.

15143.7.1. SPI-14: Offstreet Parking.

Except as established for particular uses in the Schedule of District Regulations for RG-2 and CR Districts, minimum offstreet parking requirements for commercial areas on SPI-14 shall be as indicated for the particular land use intensity rating derived for the property from tables on Section 2011.1.1.

In addition, the following provisions or limitations shall apply:

1. Since it is intended that automotive traffic related to non-residential uses shall be minimized on pedestrian streets, location of non-residential off-site parking shall be permissible as provided at Sections 2018, 2022 and 2023, but without any demonstration or required finding as to practical difficulties or unnecessary hardship in providing required parking on the site. Off-site required parking for residential uses shall require such demonstration and finding.
2. In addition to the reductions in offstreet parking requirements, provisions for deferral of part of parking improvements, and arrangement for provision of joint parking facilities authorized in Section 2017, in any mixed-use development including a theater, spaces that are required for other non-residential uses may be credited toward meeting requirements for the theater to the extent justified by timing of peak demands.
3. Where outdoor areas are regularly used for display and sales, or as dining areas, the floor area shall be exempt from off-street parking requirement.
4. Parking structures shall not be allowed on top of the portales when portales are built on the front yard.

15143.7.2. Maximum distance limitations.

Maximum distance limitations shall be as required in Section 2018.1. The exception will be that the maximum distance from a principal entrance of any parking facility permitted to provide required off-site parking to principal entrance of the use served shall not exceed nine hundred (900) feet, with entrance measured by normal pedestrian routes.

15143.7.3. Special Consideration on Vehicular Access to Property, Parking Structures.

In order to provide pedestrian, resident and worker comfort and convenience and because of the traffic flow at major streets, special consideration shall be given to the separation of vehicular and pedestrian traffic, and to the design and location of vehicular entrances to passenger loading, offstreet parking and/or loading facilities. In general, principal pedestrian entrances to buildings shall be along street frontages with the major vehicular traffic volumes, and the vehicular entrances shall be along street with lesser traffic flows. Offstreet parking structures shall either be underground or if above ground shall be designed to provide a minimal visual impact, well integrated with the principal structures and appropriately screened from exterior views.

Yards adjacent to pedestrian streets may be crossed by driveways equal in maximum width to 25% of the width of the lot (or depth where such street adjoins at the side), provided that in no case shall such driveway exceed 18 feet in total width (aside from flares).

The upper surface of underground parking structures shall not exceed a height of 3.5 feet above the average grade of the abutting public sidewalk.

15143.8. Limitations on Signs. Number and Area.

15143.8.1. General Limitations.

15143.8.1.1. Prohibited Signs.

Billboards, poster panels and other outdoor advertising signs shall be prohibited in this district. Other offsite signs shall be prohibited except when posted on community or neighborhood bulletin boards or kiosks, in accordance with limitations and regulations relating thereto at Section 2025.3.10 and those applied in special permit proceedings on particular community or neighborhood bulletin boards or kiosks. Except for such bulletin boards or kiosks, ground or freestanding signs are prohibited.

15143.8.1.2. Signs More Than 15 Feet Above Grade, Limitations on Number, Area, Subject Matter.

Signs erected with their lowest portions more than 15 feet above grade shall be limited to those identifying the building and the nature of the establishments it contains. Only one such sign, not exceeding 50 sq.ft. in area, shall be permitted for each face of the building oriented toward the street, except that where the length of a building wall exceeds 150 feet, a second sign shall be permitted, not exceeding 50 sq.ft. in area.

15143.8.1.3. Signs 15 Feet or Less Above Grade, Limitations on Number and Area.

Wall signs (not including signs in glassed areas of windows or doors) and projecting signs erected with their highest portion 15 feet or less above grade shall be limited in total area to 20 sq.ft. for a building wall with 50 feet or less of street frontage and 30 sq.ft. for a building wall exceeding 50 ft. of street frontage, except as otherwise specifically provided herein. Signs in the glassed areas of windows and doors shall not exceed 20% of the glassed area of the window or door involved. One ground sign, limited to 10 sq.ft. in area, may be erected for buildings on lots where the street yard exceeds 20 feet in depth.

15143.8.2. Detailed Limitations, Wall Signs, Projecting Signs, Marquee Signs, Windows Signs.

Within the 20 or 30 sq.ft. (depending upon wall length) maximum allowable at or below 15 feet above grade, the following limitations shall apply to the number and area of signs. No more than one wall sign may be erected per establishment; a maximum area of any such sign shall be 20 or 30 sq.ft. No more than one projecting sign other than a marquee sign shall be erected not exceeding two sign surfaces, neither of which shall exceed 20 or 30 sq.ft. No such sign structure shall extend more than 4 feet from the wall of the building. Marquee signs shall be limited to one per establishment and 3 sq.ft. in sign area. No perpendicular signs shall be allowed at the exterior wall of the portal.

15143.8.3. Real Estate Signs, Construction Signs, Development Signs, Number and Area.

Real estate, construction or development signs, individually or in combination, shall be limited to one per street frontage, not exceeding 10 sq.ft. in area, and erected with the highest portion 15 feet or less above grade. Real estate signs which are not part of construction or development signs shall not require a special permit.

15143.8.4. Directional Signs, Number and Area.

Directional signs, which may be combined with address signs but shall bear no advertising matter, may be erected to guide entrances, exits, or parking areas. No more than one such sign, not exceeding 5 sq.ft. in area, shall be erected per entrance, exit, or parking area.

15143.8.5. Community or Neighborhood Bulletin Board or Kiosks, Area and Location.

Area and location of community or neighborhood bulletin boards or kiosks shall be permissible as provided at Section 2025.3.10.

15143.8.6. Additional Wall Signs for Theaters, Museums, Noncommercial Art Galleries.

In addition to signs permitted above, theaters, museums, noncommercial art galleries and the like may have wall sign areas for display of announcements concerning coming or current exhibits or performances. Area of such display surfaces shall not exceed 20 sq.ft. for each lineal foot of building wall fronting on a street, with maximum permissible area 200 sq.ft.

15143.8.7. Banners, Pennants, Streamers, Flashing or Animated Signs

Banners, Pennants, Streamers, Flashing or Animated Signs may be permitted. For additional sign requirements see Latin Quarter Design Guidelines and Standards.

15143.8.8. Special Permit Requirements, Specified Types of Signs.

All signs over 15 sq.ft. shall be required to be presented to the Latin Quarter Review Board. All signs requiring special permits shall conform to the design standards set forth in Guides and Standards for use with the Miami Zoning Ordinance. For additional information on signs, see Latin Quarter Design Guidelines and Standards.

SECTION 15144. COMMERCIAL-RESIDENTIAL DISTRICTS SPI-14.1.

15144.1. Principal Uses and Structures; Permissible Accessory Uses and Structures; Transitional Requirements; Minimum Lot Requirements; Floor Area Limitations; Minimum Open Space Requirements; Maximum Height; Minimum Offstreet Parking Requirements; Limitation on Signs.

As for CR-1/5 zoning district except that:

1. Community-based residential facilities, rooming or lodging houses are not permitted.
2. Commercial parking garages shall be permitted.
3. Front yards shall be a minimum of 20 feet. Street side yards shall be a minimum of 10 feet.
4. Other yards: There are no minimum requirements except as for building spacing or transitional requirements.
5. Portales may be constructed within the yard space. At areas with yards of 20 feet at front and street side a minimum of 10 feet shall be provided between the sidewalk and the external face of the portal. (See Section 15143.5.3.1.)





6. Construction above the portal may be allowed, except for parking garages, to a maximum height of 30 feet.
7. For criteria about portales, interior patios, urban plazas, upper deck terraces and balconies. (see Section 15143.5.3.2.)
8. Height Envelope: As per CR districts except that there is an additional 75° (degree) light plane in the front and street side, and none at the interior side of the lot.
9. Parking: Maximum distance limitation as per Section 15143.7.2. Special consideration on vehicular access to property, parking structure as per Section 15143.7.3. Parking lots shall be screened from view from public right-of-ways.
10. Limitations on signs as per Section 15143.8.
11. Appropriate screening of mechanical and electrical equipment, utilities and/or garbage disposal equipment must be provided.

SECTION 15145. RESIDENTIAL DISTRICTS SPI-14.2.

15145.1. Principal Uses and Structures; Permissible Accessory Uses and Structures; Transitional Requirements; Minimum Lot Requirements; Floor Area Limitations; Minimum Open Space Requirements; Maximum Height; Minimum Offstreet Parking Requirements; Limitations on Signs.

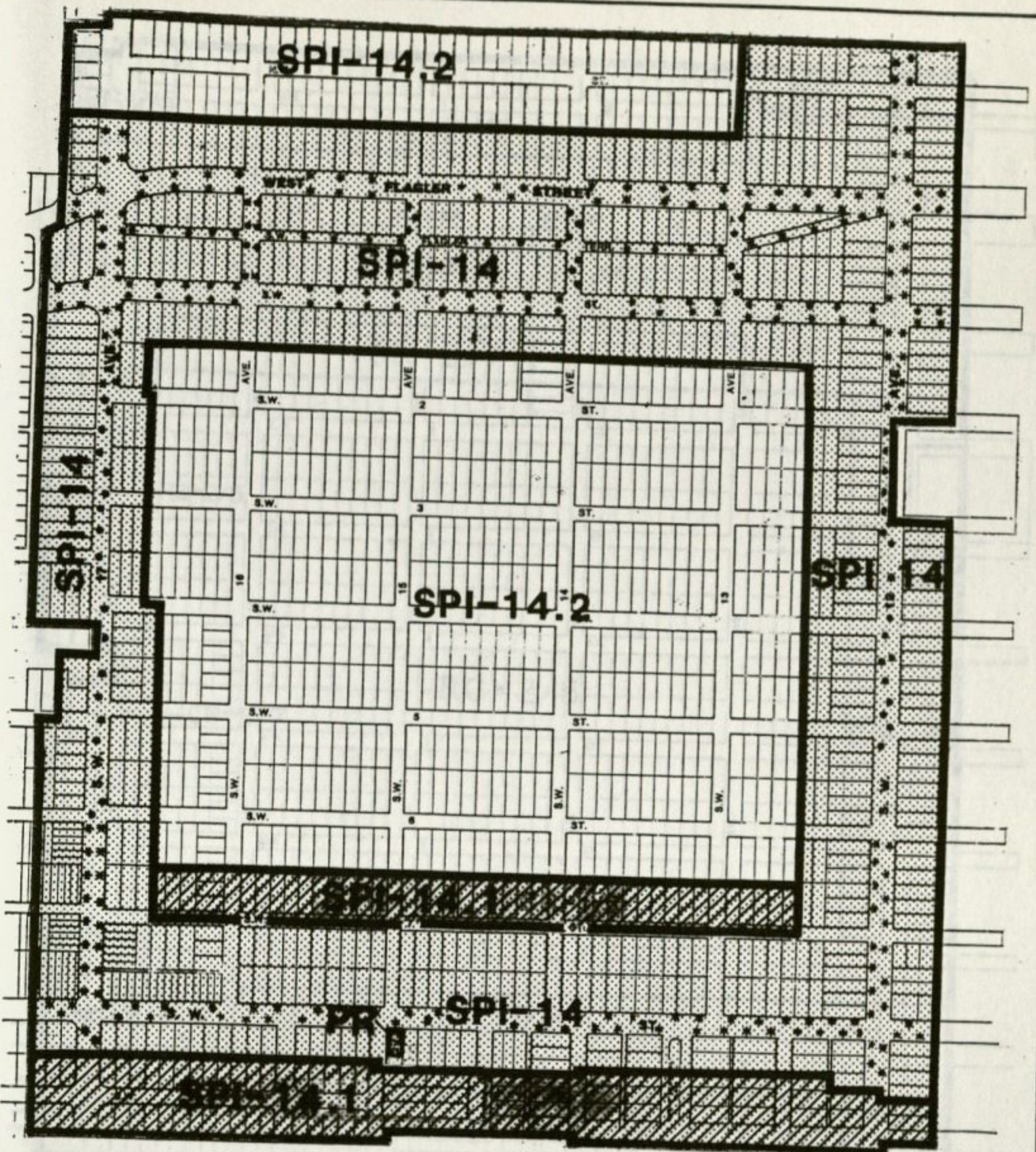
As for RG-2/5 Zoning district except that:




1. Food stores, shoe repair stores and similar commercial uses shall be permitted at ground level at street corner lot. Maximum lot area 7500 sq.ft. Such facilities could stand by itself or as part of a residential building. Offstreet parking on the site or vicinity shall not be permitted for the commercial activity.
2. Home occupations shall be permitted. (See Section 2003.5)
3. Community-based residential facilities, rooming or lodging houses are not permitted.
4. Portales for commercial used development will be allowed to be built on the front or street side yard.
5. Appropriate screening of mechanical and electrical equipment, utilities and/or garbage disposal equipment must be provided.

 COMMERCIAL/RESIDENTIAL ZONING SPI-14
 NEIGHBORHOOD COMMERCIAL/RESIDENTIAL ZONING SPI-14
 RESIDENTIAL ZONING SPI-14.2
 PEDESTRIAN STREET

LATIN QUARTER SPI'S



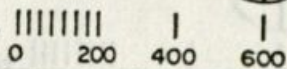


-  COMMERCIAL/RESIDENTIAL ZONING SPI-14
-  NEIGHBORHOOD COMMERCIAL/RESIDENTIAL ZONING SPI-14.1
-  RESIDENTIAL ZONING SPI-14.2
- *** PEDESTRIAN STREET

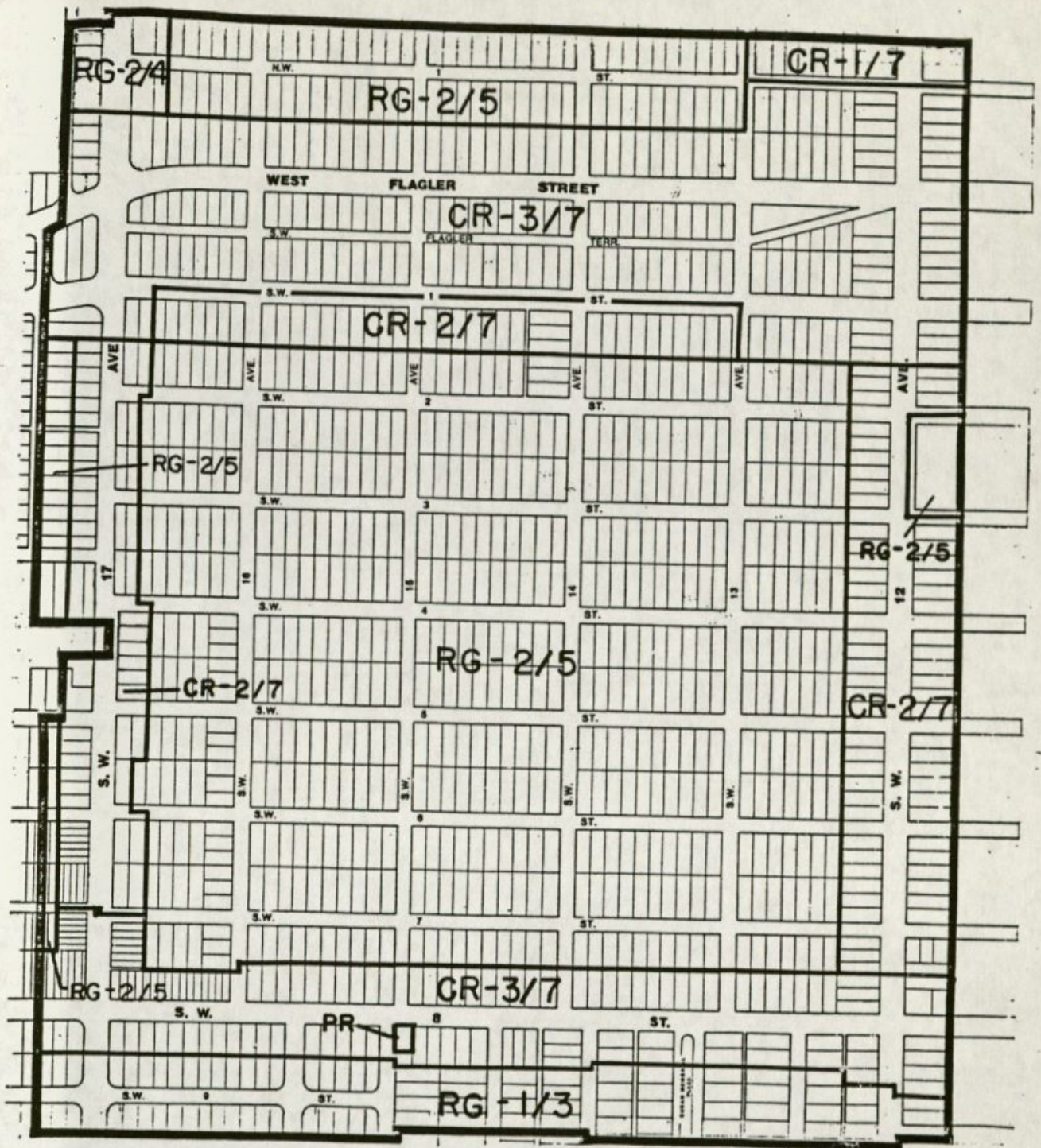
LATIN QUARTER SPI'S



CITY OF MIAMI PLANNING DEPARTMENT



latin quarter

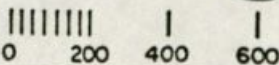


LEGEND

- RG-1 - GENERAL RESIDENTIAL (One & Two Family)
- RG-2 - GENERAL RESIDENTIAL
- CR-1 - COMMERCIAL - RESIDENTIAL (Neighborhood)
- CR-2 - COMMERCIAL - RESIDENTIAL (Community)
- CR-3 - COMMERCIAL - RESIDENTIAL (General)
- PR - PARKS AND RECREATION

EXISTING ZONING DISTRICTS

CITY OF MIAMI PLANNING DEPARTMENT



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